



**Residential New Construction
and Addition Permit Application**

To complete this form electronically: Open with
Internet Explorer, then [Click Here to Save and continue](#).

Property Information

Project Address: 1044 E 8TH STREET, AUSTIN TX 78702

Tax Parcel ID:

Legal Description: S 85.67FT OF LOT 7 BLK 4 OLT 2-3 DIV B ROBERTSON GEO L SUBD

Zoning District: MF3

Lot Area (sq ft): 6,055.00

Neighborhood Plan Area (if applicable): CENTRAL EAST AUSTIN

Historic District (if applicable):

Required Reviews

Is project participating in S.M.A.R.T. Housing? <small>(If yes, attach signed certification letter from NHCD, and signed conditional approval letter from Austin Energy Green Building)</small>	Y <input type="checkbox"/> N <input type="checkbox"/>	Does project have a Green Building requirement? <small>(If yes, attach signed conditional approval letter from Austin Energy Green Building)</small>	Y <input type="checkbox"/> N <input type="checkbox"/>
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Is this site within an Airport Overlay Zone? <small>(If yes, approval through Aviation is required)</small>	Y <input type="checkbox"/> N <input type="checkbox"/>	Does this site have a septic system? <small>(If yes, submit a copy of approved septic permit)</small>	Y <input type="checkbox"/> N <input type="checkbox"/>
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Does the structure exceed 3,600 square feet total under roof?	Y <input type="checkbox"/> N <input type="checkbox"/>	(If yes, Fire review is required)
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Is this property within 200 feet of a hazardous pipeline?	Y <input type="checkbox"/> N <input type="checkbox"/>	(If yes, Fire review is required)
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Is this site located within an Erosion Hazard Zone? <small>(If yes, EHZ review is required)</small>	Y <input type="checkbox"/> N <input type="checkbox"/>	Is this property within 150 feet of the 100 year floodplain? Y <input type="checkbox"/> N <input type="checkbox"/> <small>(Proximity to floodplain may require additional review time.)</small>
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Is there a protected sized tree on this lot or adjacent lot(s)? Y ☐ N ☐ (If yes, click here for more information on the tree permit process.)

Is this site within the Residential Design and Compatibility Standards Ordinance Boundary Area? (LDC 25-2 Subchapter F) Y ☐ N ☐

Does this site currently have: water availability?	Y <input type="checkbox"/> N <input type="checkbox"/>	(If no, contact Austin Water Utility to apply for wastewater availability?)
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Are there existing water/wastewater infrastructure, appurtenances or existing water/wastewater easements located on site? Y ☐ N ☐
(If yes, contact Austin Water Utility Pipeline Engineering for review and approval)

Does this site have or will it have an auxiliary water source? Y ☐ N ☐ (If yes, submit approved auxiliary and potable plumbing plans.)
(Auxiliary water supplies are wells, rainwater harvesting, river water, lake water, reclaimed water, etc.)

Does this site require a cut or fill in excess of four (4) feet? Y ☐ N ☐ (If yes, contact the Development Assistance Center for more information)

Is this site within the Waterfront Overlay? <small>(LDC 25-2 Subchapter C Article 3)</small>	Y <input type="checkbox"/> N <input type="checkbox"/>	Is this site within the Lake Austin Overlay? <small>(LDC 25-2-180, 25-2-647)</small>	Y <input type="checkbox"/> N <input type="checkbox"/>
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Does this site front a paved street? <small>(If no, contact Development Assistance Center for Site Plan requirements.)</small>	Y <input type="checkbox"/> N <input type="checkbox"/>	Is this site adjacent to a paved alley? <small>(Public Works approval required to take access from a public alley.)</small>	Y <input type="checkbox"/> N <input type="checkbox"/>
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Does this site have a Board of Adjustment (BOA) variance? Y ☐ N ☐ Case # _____ (if applicable)
Does this site have a Residential Design and Compatibility Commission (RDCC) waiver? Y ☐ N ☐
(If yes, provide a copy of decision sheet. Note: A permit cannot be approved within 10 days of approval of a variance from BOA.)

Description of Work

Is Total New/Added Building Area > 5,000 Sq Ft? Y ☐ N ☐ (If yes, construction material recycling is required per LDC 25-11-39)

Existing Use:	vacant	<input checked="" type="checkbox"/> single-family residential	<input type="checkbox"/> duplex residential	two-family residential	other: _____
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Proposed Use:	vacant	<input type="checkbox"/> single-family residential	<input type="checkbox"/> duplex residential	two-family residential	other: _____
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Project Type:	new construction	addition	<input type="checkbox"/> addition/remodel	other: _____
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Will all or part of an existing exterior wall, structure, or roof be removed as part of the project? Y ☐ N ☐
(Note: Removal of all or part of a structure requires a demolition permit application.)

# existing bedrooms:	3	# bedrooms upon completion:	5	# baths existing:	2.0	# baths upon completion:	5.0
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Project Description: (Note: Please provide thorough description of project. Attach additional pages as necessary.)

Remodeling and addition project from a single family to a duplex - Unit A 2bed 2.5 baths and Unit B 3 bed 2.5 baths

Trades Permits Required (Circle as applicable): ☐ electric ☐ plumbing ☐ mechanical (HVAC) ☐ concrete (R.O.W.)

Subchapter F

Gross Floor Area

This section is only required for projects located within the Residential Design and Compatibility Standards Ordinance Boundaries as defined and illustrated in Title 25-2 Subchapter F of the Land Development Code. The Gross Floor Area of each floor is measured as the area contained within the outside edge of the exterior walls.

	Existing Sq Ft	New/Added Sq Ft	Proposed Exemption (check article utilized)	Applied Exemption Sq Ft	Total Sq Ft
1 st Floor	1,081.00	905.00			1,986.00
2 nd Floor		905.00			905.00
3 rd Floor					0.00
Area w/ ceilings > 15'			Must follow article 3.3.5		0.00
Ground Floor Porch* (check article utilized)	201.00	106.00	<input checked="" type="checkbox"/> Full Porch sq ft (3.3.3 A) <input type="checkbox"/> 200 sq ft (3.3.3 A 2)	307.00	0.00
Basement			Must follow article 3.3.3B, see note below		0.00
Attic	1,083.00		Must follow article 3.3.3C, see note below	1,083.00	0.00
Garage**: (check article utilized)	Attached		<input type="checkbox"/> 200 sq ft (3.3.2 B 1)		0.00
			<input type="checkbox"/> 450 sq ft (3.3.2 A 1 / 2a) <input type="checkbox"/> 200 sq ft (3.3.2 B 2a / 2b)		0.00
Carport**: (check article utilized)	Attached		<input type="checkbox"/> 450 sq ft (3.3.2 A 3) <input type="checkbox"/> 200 sq ft (3.3.2 B 1)***		0.00
	Detached		<input type="checkbox"/> 450 sq ft (3.3.2 A 1)		0.00
Accessory Building(s) (detached)					0.00
Totals	2,365.00	1,916.00			2,891.00

TOTAL GROSS FLOOR AREA (add Total Sq Ft column) 2,891.00

(Total Gross Floor Area ÷ Lot Area) x 100 = 48 Floor-To-Area Ratio (FAR)

Is a sidewall articulation required for this project? Y ☐ N ☒

(Yes, if, a wall, 15' tall or higher, within 9 feet of a side property line extends further than 36 feet in length per article 2.7.1)

Does any portion of the structure extend beyond a setback plane/exemption exhibit (aka "tent")? Y ☐ N ☒

(If Yes, indicate applicable section of Subchapter F and length of protrusion on the drawings.)

*Ground Floor Porch exemption: A ground floor porch, including a screened porch, may be exempted, provided that the porch is not accessible by automobile and is not connected to a driveway, and the exemption may not exceed 200 square feet if a porch has habitable space or a balcony above it.

**Garage and carport exemptions (in relation to primary structure): Exemptions must follow the code as outlined in Title 25-2 Subchapter F 3.3.2. Each amount listed (450 or 200) is the maximum exclusion allowed per the article designated. Note: Article 3.3.2 C, "An applicant may receive only one 450-square foot exemption per site under paragraph A. An applicant who receives a 450-square foot exemption may receive an additional 200-foot exemption for the same site under paragraph B, but only for an attached parking area used to meet minimum parking requirements."

***Ordinance article 3.3.2 B 1 is the only 200 sq ft exemption that may be combined with a 450 sq ft exemption. Otherwise only one 450 exemption or one 200 sq ft exemption may be taken.

Basement exemption: A habitable portion of a building that is below grade may be exempted if the habitable portion does not extend beyond the first-story footprint and is below natural or finished grade, whichever is lower, and it is surrounded by natural grade for at least 50% of its perimeter wall area and the finished floor of the first story is not more than three feet above the average elevation at the intersections of the minimum front yard setback line and the side property lines.

Habitable Attic exemption: A habitable portion of an attic may be exempted if: 1) The roof above it is not a flat or mansard roof and has a slope of 3 to 12 or greater, 2) It is fully contained within the roof structure, 3) It has only one floor, 4) It does not extend beyond the footprint of the floors below, 5) It is the highest habitable portion of the building, or a section of the building, and adds no additional mass to the structure, and 6) Fifty percent or more of the area has a ceiling height of seven feet or less.



Development

SERVICES DEPARTMENT

Residential Review – One Texas Center
505 Barton Springs Road, Austin, TX 78704. (512) 978-4000

Residential New Construction and Addition Permit Application

Additional Information

Application Process

Please submit all documents single-sided.

Submission requirements:

- ☐ Completed application
 - ☐ 2 large-format sets of permit exhibits (11"x17", 12"x18", 18"x24", or 24"x36")
 - ☐ 1 small-format set of permit exhibits (11"x17", 8.5"x14", or 8.5"x11")
 - ☐ Austin Energy Building Service Plan Application (BSPA)
Note: The BSPA and the small-format plot plan must be stamped by AE in the Development Assistance Center on the first (1st) floor of the One Texas Center prior to submittal
 - ☐ Austin Water Utility W&W Service Plan Verification, if water demand is to increase (e.g. addition of a bath)
Note: The AWU form and the small-format plot plan must be stamped by AWU in the Development Assistance Center on the first (1st) floor of the One Texas Center prior to submittal
 - ☐ Completed Demolition application with all required documentation, if any portion of an exterior wall is to be removed or modified. If submitting for a total demolition for new construction, demolition application must be submitted separately.
- All drawings must be to a City of Austin verifiable scale, see [Residential Building Permit Customer Submittal Checklist](#) for additional details and a list of acceptable scales.

Check for expired permits: https://www.austintexas.gov/devreview/a_queryfolder_permits.jsp

If there are expired permits associated with this property, they must be resolved. This can be done in the following ways:

Submit an Acknowledgement of Expired Permits form with this application. OR

If the work qualifies for an express permit, include it in the description of work on this application.

If the Acknowledgement of Expired Permits form is used for this project, information about what will be required to resolve the expired permit(s) can be obtained during Residential Review General Information Walk-in hours.

All new construction must comply with the [Visiblity Ordinance](#).

Submit application package during Intake hours. Please note limited hours for total demolition application submittal.

For hours and additional information go to our website at <http://www.austintexas.gov/department/residential-building-review>

About the Review Disciplines

Technical Review – Any permit exhibits not sealed and signed by a Texas-registered architect or certified building designer will be subject to a limited technical review. The technical review is not intended to be exhaustive of all possible building code requirements.

Floodplain Review – Any work requiring a permit on property located within 150 feet of an identified flood plain will require additional review. If review is anticipated, include supporting information such as FEMA elevation certificate form 086-0-033 and/or topographic surveys referencing NAVD88. To check your property for proximity to a flood plain visit www.ATXFloodPro.com or the City's [Floodplain Development Information website](#).

Historic Review – There is additional review of exterior changes if property is a City Landmark or located in a Local Historic District, National Register Historic District, H or HD zoned district, or partial demolition of exterior features on property over 40 years old.

Erosion Hazard – There is a review of structural design if a property is located in the Erosion Hazard Zone, as defined by the boundaries located on the City of Austin GIS map. These zones align with locations where water flow and watershed could lead to erosion damage of the surrounding land features (e.g creeks, stream beds, ...).

Fire Review – There is additional review of a project if the square footage of a structure exceeds 3,600 square feet in area. The 3,600 sq. ft. includes the total gross building area: all first, second, and additional floor areas; attached covered porches, patios, decks, and balconys; attached garages; and any other attached roofed areas. The review ensures adequate proximity to fire hydrants and sufficient water supply to the hydrants based on the total gross area of the structure. Properties within 200 feet of a hazardous pipeline may also require additional review.

Additional Information, Continued

Calculation Aid

Area Description	Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.			
a) 1 st floor conditioned area	1,081.00	905.00	1,986.00
b) 2 nd floor conditioned area		905.00	905.00
c) 3 rd floor conditioned area			0.00
d) Basement			0.00
e) Attached Covered Parking (garage or carport)			0.00
f) Detached Covered Parking (garage or carport)			0.00
g) Covered Wood Decks (counted at 100%)			0.00
h) Covered Patio			0.00
i) Covered Porch	201.00	106.00	307.00
j) Balcony			0.00
k) Other – Specify:			0.00
Total Building Area (TBA) (add: a through k)	1,282.00	1,916.00	3,198.00
Total Building Coverage (TBC) (from TBA subtract, if applicable: b, c, d, and j)	(A) 1,282.00	1,011.00 (B)	2,293.00
l) Driveway		318.00	318.00
m) Sidewalks	684.00		684.00
n) Uncovered Patio			0.00
o) Uncovered Wood Decks (counted at 50%)	98.00	18.00	116.00
p) AC pads and other concrete flatwork			0.00
q) Other (Pool Coping, Retaining Walls)			0.00
Total Site Impervious Coverage (add: TBC and l through q)	(C) 2,064.00	1,347.00 (D)	3,411.00
r) Pool			0.00
s) Spa			0.00

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Lot Area (sq ft): 6,055.00

Existing Building Coverage (see above A, sq ft): 1,282.00

Existing Coverage % of lot (A ÷ Lot Area) x 100 : %

Final Building Coverage (see above B, sq ft): 2,293.00

Final Coverage % of lot (B ÷ Lot Area) x 100 : 38 %

Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Coverage (see above C, sq ft): 2,064.00

Existing coverage % of lot (C ÷ Lot Area) x 100 : %

Final Impervious Coverage (see above D, sq ft): 3,411.00

Final coverage % of lot (D ÷ Lot Area) x 100 : 56 %



AUSTIN ENERGY
One Texas Center | 505 Barton Springs Road
Phone: (512) 974-2632, (512) 974-9112
Email: aespsaesa@austinenrgy.com

Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only
For use in DAC only

Responsible Person for Service Request:

Email: luciana.cervin@bayside.com

Phone: 512-437-3644

☒ Residential ☐ Commercial ☐ New Construction

☒ Remodeling

Project Address: 1014 E 8th Street

-OR- Lot: 3 Block: 4

Legal Description: 3.8563FT

Who is your electrical provider? ☒ AE ☐ Other:

☒ Overhead Service ☐ Underground Service ☒ Single-Phase (1Ø) ☐ Three-Phase (3Ø)

Location of meter: _____

Number of existing meters on gutter: _____ (show all existing meters on riser diagram)

Expired permit #: _____

Comments: Remodel & adding impervious cover

AE APPROVED

FEB 16 2018

47-505

BSPA Completed by (print name) MCP Phone _____

BSPA Completed by (signature) _____ Date _____

Application expires 180 days after the date of approval
(Any change to the above information requires a new BSPA)

SAVE Form

Office Use Only

AE Representative _____ Approved ☐ Yes ☐ No _____
Date _____ Phone _____

Water & Wastewater Service Plan Verification (WWWSPV)

All fields are required

Service Address: **1014 E 8th Street (B)**

Lot: **7** Block: **7** Subdivision: **P.V.B Barton Spool**

Dwelling Units demolished? ☐ Y ☒ N

Multiple Dwelling Units on same Lot? ☐ Y ☒ N

Land Status/Re-subdivision? ☐ Y ☒ N

Original Address: _____

Proposed Use: ☐ Single-Family Res. _____ sq. ft.

☒ Duplex

☐ Other: _____

Existing # Baths: **2** Additional # Baths: **2**

Total # bathrooms the meter(s) will serve: **4**

First Meter: **2** Second Meter: **3**

Water meters & wastewater clean-outs are not permitted in sidewalks or driveways

Relocation of services from proposed sidewalks or driveways shall be performed at the applicant's expense.

Signing this form verifies that the information provided is deemed accurate and complete based on available records. The customer is responsible to confirm the location and suitability of existing water and wastewater services. The customer may be responsible for costs associated to corrections due to invalid information provided.

Applicant Name & Signature **[Signature]** Date **2.16.18** Phone **912-077-3644**

City of Austin Office Use Only

Water main size: _____ Service stub size: **3/4"** Service stub change required: ☐ Y ☒ N

Shared Service? ☐ Y ☒ N If Yes, meter #, size & address: _____

Existing meter #: **41130** Existing meter size: **5/8"**

Existing water service line/meter location: _____

Upgrade required: ☐ Y ☒ N New meter(s) size: **Duplex Unit A-5/8" Mt#118184**

Existing water or wastewater main located on the property: ☐ Y ☒ N

WW main size: _____ WW Service line/clean-out location: _____

Secondary address needed at property: ☐ Y ☒ N

Utility Plan required: ☐ Y ☒ N

Instruction sheet provided to Customer: ☒ Y ☐ N Is the lot legally Platted? ☐ Y ☒ N

Comments: **Remodel - adding 2 baths to Unit B**

AW Engineer **[Signature]** Date _____ Phone _____

AW Taps **APPROVED FEB 16 2018** Date _____ Phone _____

City of Austin | Austin Water – Water & Wastewater Service Plan Verification (WWWSPV) | 03/09/17 | Page 1 of 2

TAX CERTIFICATE
Bruce Elfant
Travis County Tax Assessor-Collector
P.O. Box 1748
Austin, Texas 78767
(512) 854-9473

NO 2263637

ACCOUNT NUMBER: 02-0605-1010-0000

PROPERTY OWNER: PROPERTY DESCRIPTION:

RODENBUSCH GEORGE W & CORA S
2803 OAKHAVEN DR
AUSTIN, TX 78704-3833
S 85.67FT OF LOT 7 BLK 4 OLT 2-3 D
IV B ROBERTSON GEO L SUBD

ACRES .1390 MIN% .000000000000 TYPE

SITUS INFORMATION: 1014 E 8 ST

This is to certify that after a careful check of tax records of this office, the following taxes, delinquent taxes, penalties and interests are due on the described property of the following tax unit(s):

YEAR	ENTITY	TOTAL
2017	AUSTIN ISD	*ALL PAID*
	CITY OF AUSTIN (TRAV)	*ALL PAID*
	TRAVIS COUNTY	*ALL PAID*
	TRAVIS CENTRAL HEALTH	*ALL PAID*
	ACC (TRAVIS)	*ALL PAID*

TOTAL SEQUENCE 0

TOTAL TAX:	*ALL PAID*
UNPAID FEES:	*ALL NONE*
INTEREST ON FEES:	*ALL NONE*
COMMISSION:	*ALL NONE*
TOTAL DUE ==>	*ALL PAID*

TAXES PAID FOR YEAR 2017 \$7,227.05

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 2017 EXCEPT FOR UNPAID YEARS LISTED ABOVE. The above described property may be subject to special valuation based on its use, and additional rollback taxes may become due. (Section 23.55, State Property Tax Code). Pursuant to Section 31.08 of the State Property Tax Code, there is a fee of \$10.00 for all Tax Certificates.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 02/02/2018

Fee Paid: \$10.00

Bruce Elfant
Tax Assessor-Collector
By: *[Signature]*



Demolition Application

Adopted December 2012

Application type: Commercial ☐ Residential ☐ Fee paid: \$

Permit Information			
BP- _____ PR- _____		LHD_NRD_HDP - _____ Ca. _____	
REFERRED BY: _____		NRHD/LHD: _____	
<input type="checkbox"/> RELEASE PERMIT		<input type="checkbox"/> DO NOT RELEASE PERMIT	
<input type="checkbox"/> HLC REVIEW- _____			
HISTORIC PRESERVATION OFFICE		DATE	
Property Information		Demolition Type	
Address: 1014 E 8th Street		<input type="checkbox"/> Total	
City/Zip: AUSTIN 78702		<input checked="" type="checkbox"/> Partial—Identify the exterior wall(s), roof or portion of wall(s) and roof to be demolished.	
Current use: TRIPLEX DUPLEX		PARTIALLY ROOF, NORTHEAST EXTERIOR WALL, PORTION OF SOUTHEAST AND NORTHWEST	
Applicant		Owner	
Name: LUCIANA CORWIN		Name: William and Cora Rodenbush	
Address: _____		Address: _____	
City/Zip: _____		City/Zip: _____	
Phone: 512.577.3644		Phone: _____	
Email: LUCIANACA@GMAIL.COM		Email: will@rodenbusch.org	
Demolition Contractor Information		Structural Information	
Company: _____		Square Feet: 1932	
Address: _____		Building Materials: WOOD SIDDING	
City/Zip: _____		Foundation Type: CONCRETE SLAB	
Phone: _____		Estimated cost of demolition: 30,000	

IMPORTANT:

Inspections are required for all demolition projects. If you do not call for a final inspection, the permit will expire after 180 days from the time of applying for the permit. In order to close out an expired permit, an applicant will be required to submit a NEW application for the project and all fees will be assessed again.

DO NOT LET YOUR PERMIT EXPIRE!!!!

HISTORIC LANDMARKS AND DISTRICTS: If this property is a Historic Landmark or is within a Local Historic District or National Register Historic District, additional applications and fees will apply. For more information, contact the City Historic Preservation Office.



Demolition Application

Page 2 of PR- _____

Submittal Requirements

- ☐ 1. Owner authorization/signature, **NOTARIZED** at the bottom of this page
OR a NOTARIZED letter of authorization from the owner giving the applicant permission to apply.
- ☐ 2. Dimensioned Site Plan or Survey that shows all existing structures and what is being demolished
- ☐ 3. Certified tax certificate(s) from the Travis County Tax Assessor's Office (5501 Airport Boulevard, 854-9473).
- ☐ 4. Photos of each side of structure; the front photo needs to show the entire front of the structure that is visible from the street.
- ☐ 5. Review Fee (see fee schedule for applicable fees)

Additional requirements for Commercial Demolitions:

- ☐ 6. Approved/Red-stamped site plan OR an approved Site Development Exemption Form
- ☐ 7. Completed Texas Department of Health Asbestos Notification Form; must be filled out by a licensed inspector or contractor

Consent, Authorizations and Signatures

I understand and will adhere to the following rules or regulations:

- 1. No work may begin prior to issuance of this permit**
 - It is important to verify with the Development Assistance Center (DAC) that new construction will be permitted on the property at this location PRIOR to filing this application.
 - If the structure to be demolished is currently tied into water and/or sewer services provided by the City of Austin, you must contact Austin Water Utility at 512-494-9400 to obtain specific water and sewer service information.
 - If the proposed work will require the removal of any tree protected by ordinance or impact the critical root zone as defined within the Environmental Criteria Manual (3.5.2.A), a Tree Ordinance Review Application is required prior to any such activity. **Note, root zone protection measures (e.g. fencing, boards attached to the trunk, mulch) are required prior to work commencing.** Information can be found at <http://www.austintexas.gov/department/city-arborist>. Contact the City Arborist Program at (512) 974-1876 or cityarborist@austintexas.gov.
 - If the proposed work will require use of City right-of-way, a Right of Way Application must be approved prior to any activity. Applications may be obtained in the Watershed Protection and Development Review located on the 8th floor at One Texas Center. For additional information, call 974-7180 or go to <http://www.austintexas.gov/department/right-way-management>
 - 6. The Historic Preservation Office will review this application to determine if the structure that is subject of this application is potentially historic as defined by §25-11-214 of the City of Austin Land Development Code. Additional review by the Historic Landmark Commission may be required and additional fees may be assessed.**
 - Once this review is complete and approved, the permit may be obtained from the Permit Center and additional fees will be assessed at that time.
- I, the undersigned, hereby swear or affirm that the information provided in this application is true and correct to the best of my knowledge and is an accurate reflection of my intentions for the above structure and/or property. I understand that any omission or incorrect information herein will render this application and any permit obtained invalid.
- ☐ As owner(s) of the property described in this application, I/we herby authorize the Applicant listed on this application to act on my/our behalf during the processing and presentation of this request. They shall be the principal contact with the City in processing this application.

Signature of Applicant: Luciana Couvris

Date:

(if different from owner)

Signature of Owner: [Signature]

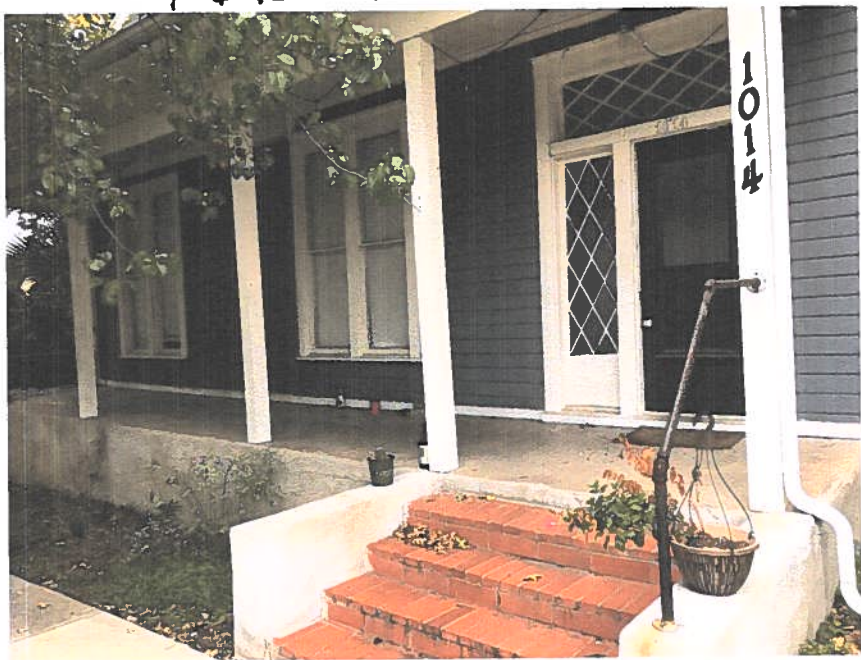
Date: 2.10.2018

Sworn and subscribed before me this 16th day of Feb, 2018

Signature of Public Notary [Signature]



FRONT



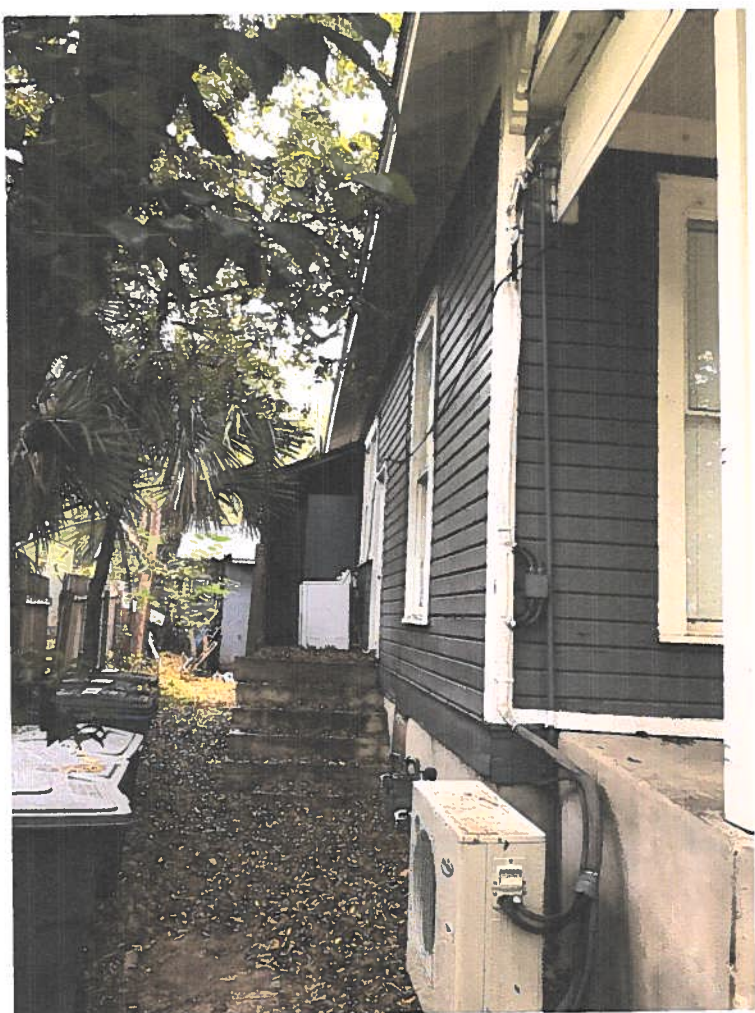
FRONT



RIGHT



RIGHT



LEFT



BACK

REMODEL W/ ADDITION
1014 E 8TH STREET
AUSTIN, TX 78702



SHEET INDEX

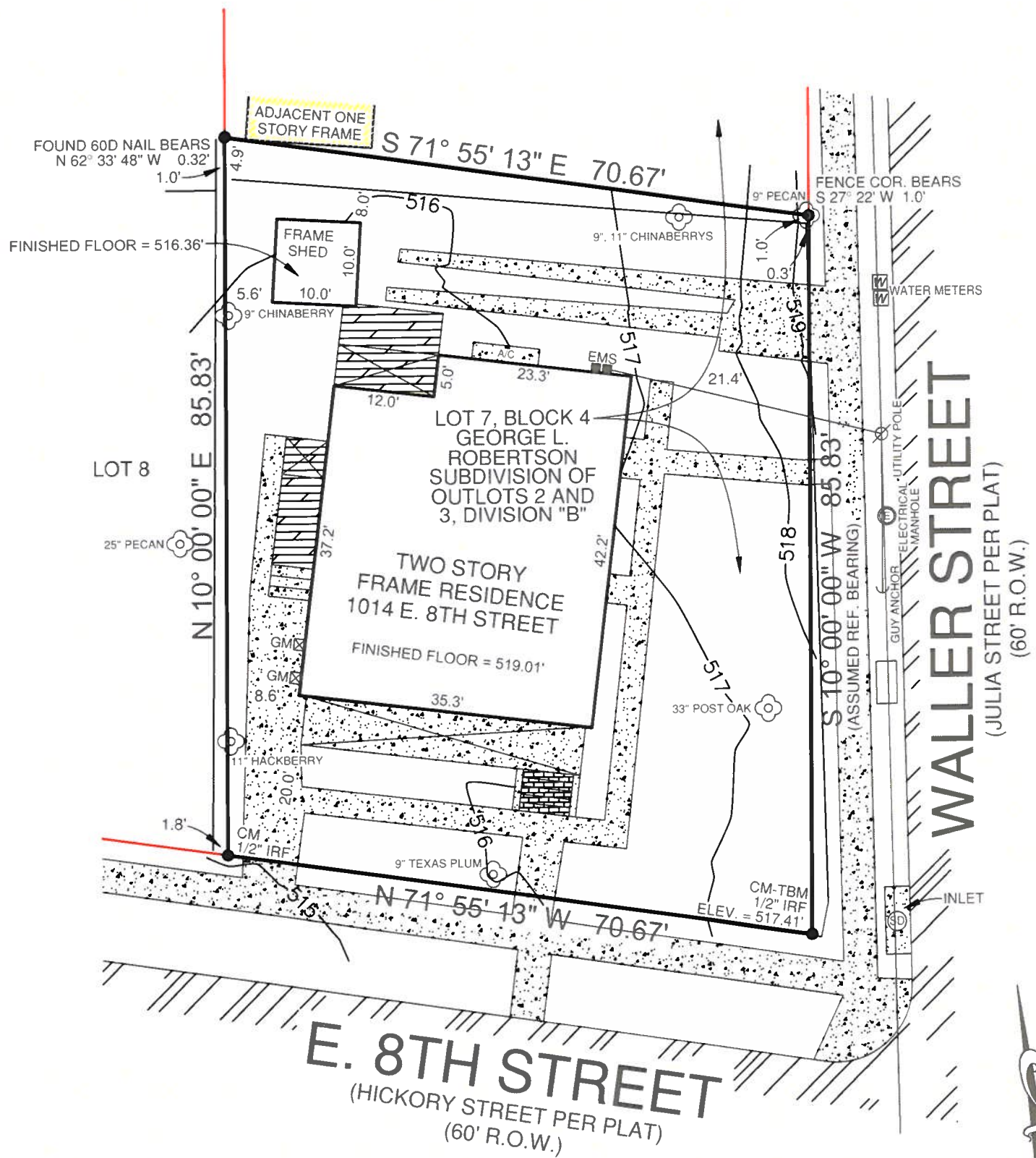
A1	TITLE SHEET
A2	SURVEY
A3	PLOT PLAN
A4	DEMOLITION PLAN
A5	PROPOSED 1ST FLOOR PLAN
A6	PROPOSED 2ND FLOOR PLAN
A7	ELEVATION
A8	ELEVATION
A9	ELEVATION
A10	ELEVATION
A11	ROOF
A12	PARTY WALL DETAIL

PLUMBING NOTES

1. CONTRACTOR SHALL VERIFY AND COORDINATE THE EXACT LOCATION OF PIPING, FITTINGS, OFFSETS, BENDS, DEVICES AND EQUIPMENT WITH EXISTING SITE CONDITIONS. THE BUILDING ELEMENTS AND THE WORK OF OTHER TRADES.
2. ALL WORK INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, LAWS AND ORDINANCES. THE UNIFORM MECHANICAL, PLUMBING AND BUILDING CODES. THE WORK SHALL BE COMPLETE IN ALL RESPECTS AND IN ACCORDANCE WITH ACCEPTED AND ESTABLISHED CONSTRUCTION PRACTICES.
3. THE COLD AND HOT WATER PLUMBING SYSTEMS ARE NOT SHOWN ON THE DRAWINGS.
4. WATER HEATER: NATURAL GAS WHOLE HOUSE TANK-LESS WATER HEATER. OUTDOOR INSTALLATION, VENT-LESS. ENERGY EFFICIENT FREEZE PROTECTION TO FIVE DEGREES FAHRENHEIT, ELECTRONIC IGNITION, OPTIONAL REMOVE THERMOSTAT. ENDLESS HOT WATER SUPPLY FOR 2 MAJOR APPLICATIONS AT A TIME. MODEL: AQUASTAR 2400E0 NG BY BOSCH, OR AQUASTAR 250SX0 NG OR APPROVED EQUAL OR RINNAI MODELS RESE (2532W).
5. WATER SYSTEM PIPING: PEX, CROSS-LINKED FLEXIBLE, POLYETHYLENE PLASTIC PIPING WITH HIGH TEMPERATURE POLYMER FITTINGS PROVIDE 1" THICK FOAM INSULATION AT ALL HOT WATER PIPING, AND ½" THICK AT ALL COLD WATER PIPING ABOVE THE SLAB, INCLUDING UNDER THE CONCRETE SLAB. PROVIDE CONTINUOUS PLASTIC SHEATHING AT ALL WATER SYSTEM PIPING PLACED BENEATH THE SLAB. COLOR CODED TO PROTECT THE TUBING - NOT SHOWN IN THIS PLAN.
6. WATER SYSTEM PIPING SHALL BE INSTALLED UNDERNEATH THE VAPOR BARRIER MEMBRANE FOR THE CONCRETE SLAB. NO JOINTS IN THE PIPING OR TUBING BENEATH THE SLAB ARE PERMITTED.
7. WASTE WATER DRAIN AND VENT PIPING: PVC, SCHEDULE 40.

GENERAL PROJECT NOTES

- 1.0 THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- 2.0 ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- 3.0 WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE DESIGNER IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS.
- 4.0 THESE DRAWINGS HAVE NOT BEEN DRAWN BY A REGISTERED ARCHITECT.
- 5.0 THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS DESIGNER.
- 6.0 THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
- 7.0 THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS DESIGNER.
- 8.0 THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
- 9.0 THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
- 10.0 DESIGNER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANIC, ELECTRICAL AND PLUMBING SYSTEMS.
- 11.0 ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
- 12.0 THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- 13.0 ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
- 14.0 UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- 15.0 ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.
- 16.0 THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
- 17.0 THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- 18.0 VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
- 19.0 IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK.
- 20.0 CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. REMOVE MATERIALS TO APPROVED DUMP SITES ONLY.



LEGEND:

—x—x—	WIRE FENCE	ASPHALT =	[Pattern]
—o—o—	CHAINLINK FENCE	CONCRETE =	[Pattern]
—o—o—	WROUGHT IRON FENCE	GRAVEL =	[Pattern]
—//—//—	WOOD FENCE	TILE =	[Pattern]
—v—v—	VINYL FENCE	WOOD =	[Pattern]
—E—E—	ELECTRIC LINE	BRICK =	[Pattern]
GM	GAS METER	STONE =	[Pattern]
EM	ELECTRIC METER	(WOOD) RAILROAD TIE	[Pattern]
IPF	IRON PIPE FOUND		
IRF	IRON ROD FOUND		
IRS	IRON ROD SET		
CM	CONTROLLING MONUMENT		

NOTES:
BEARINGS ARE ASSUMED.
TBM = TEMPORARY BENCHMARK.
CONTOUR INTERVAL EQUALS ONE FOOT.
ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS.



SCALE: 1"= 20'

CALCULATIONS	
UNIT A - EXISTING	
FIRST FLOOR HEATED	1,081 SQFT
ATTIC	1,083 SQFT
WOOD DECK	98 SQFT
FRONT PORCH	201 SQFT
UNIT B - PROPOSED	
1ST FLOOR HEATED	905 SQFT
2ND FLOOR HEATED	905 SQFT
PATIO	18 SQFT
PORCH	106 SQFT

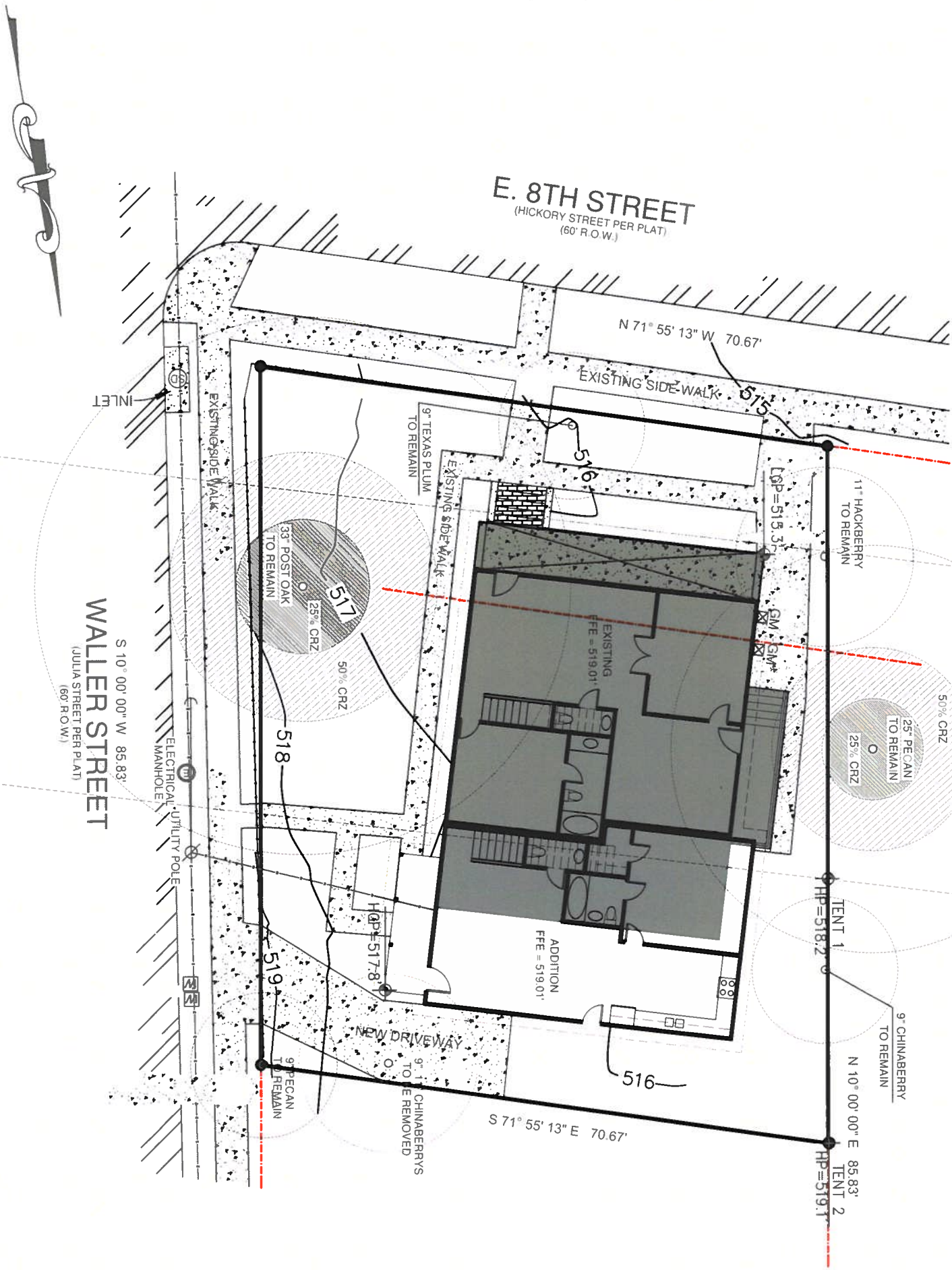
TOTAL BUILDING COVERAGE	2,293 SQFT
TOTAL IMPERVIOUS COVERAGE	3,411 SQFT
TOTAL FLOOR RATION AREA	2,891 SQFT
TOTAL LOT AREA	6,055 SQFT
BUILDING COVERAGE	38%
IMPERVIOUS COVERAGE	56%
FLOOR RATION AREA	.48
	.75% ALLOWED

AE APPROVED

FEB 16 2018
47-505
MCP

REVIEWED

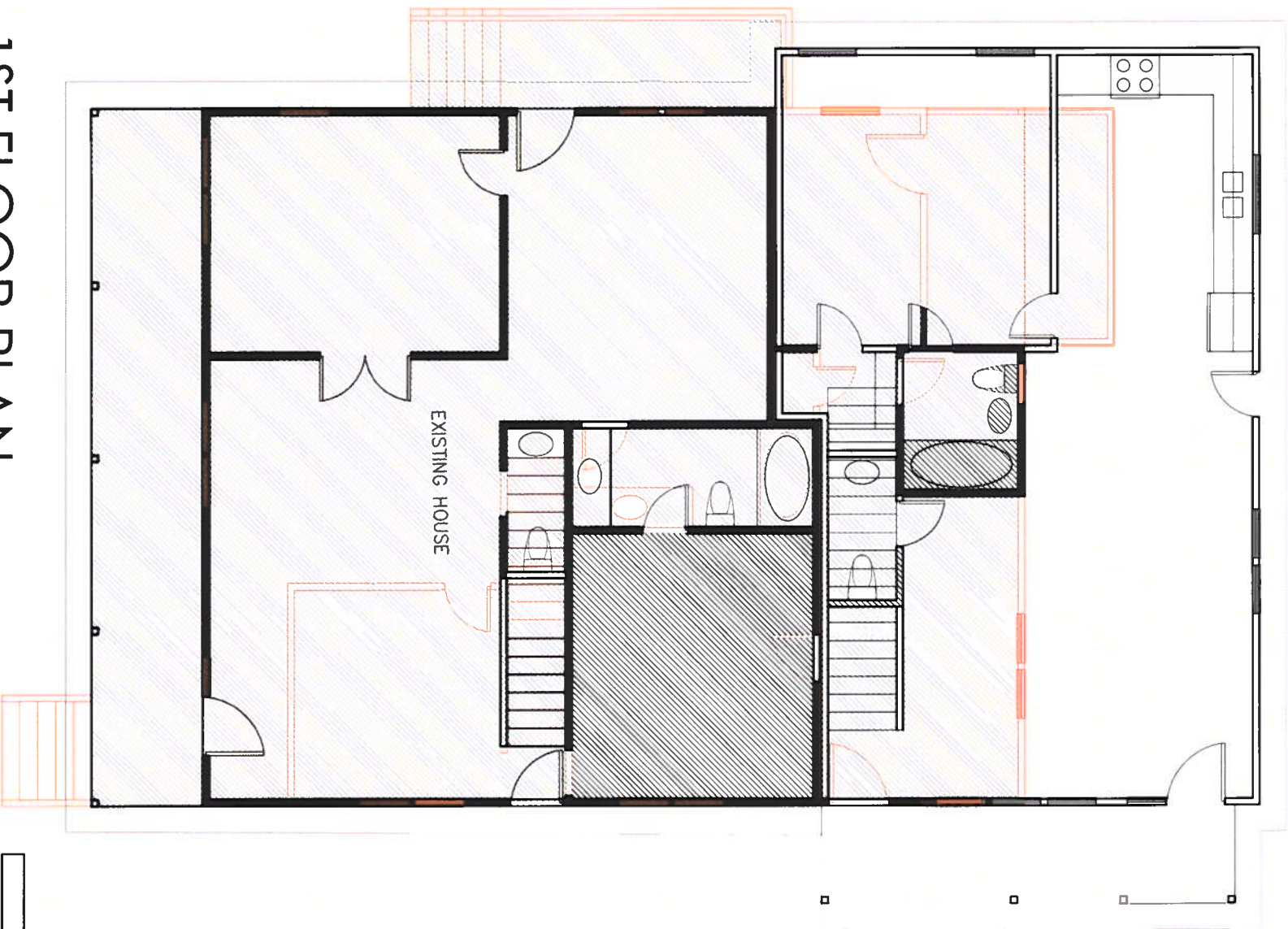
FEB 16 2018
APPROVED FEB 16 2018
AUSTIN WATER UTILITY
CONSUMER SERVICE DIVISION - TAPS



PLOT PLAN

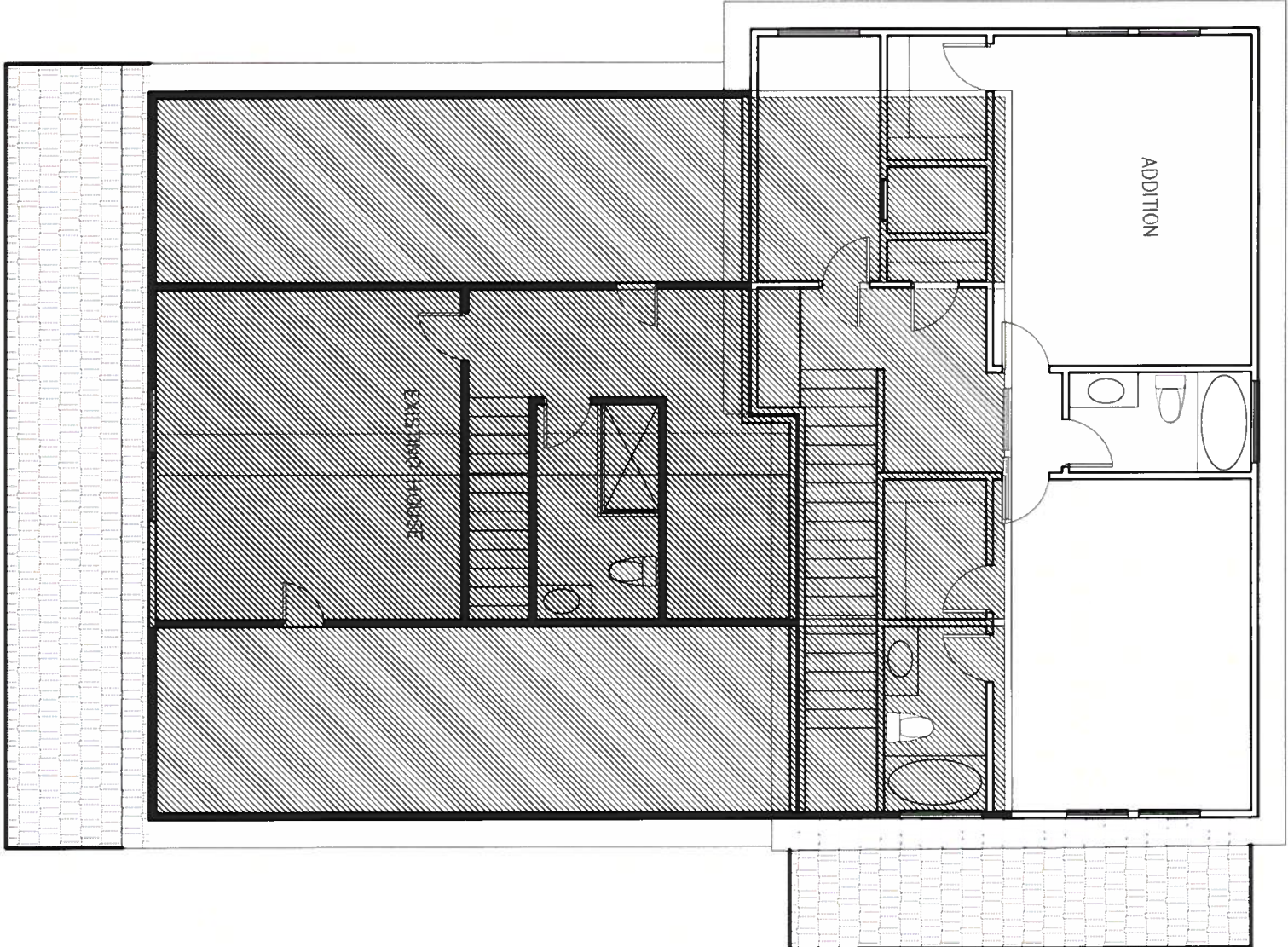
SCALE 1/16" = 1'-0"





1ST FLOOR PLAN

SCALE : 1/8" = 1'-0"



2ND FLOOR PLAN

- TO BE BUILT
- TO REMAIN
- TO BE DEMOLISHED



NOTE: REQUIRED PARTY WALL: 27'.5"
PROPOSED PARTY WALL: 40'.5"
SEE PARTY WALL DETAIL PAGE A12



DRAWN:
DRAWN BY:

1

2

1014 E 8th STREET
AUSTIN, TX 78702
DUPLEX
REMODEL WITH ADDITION

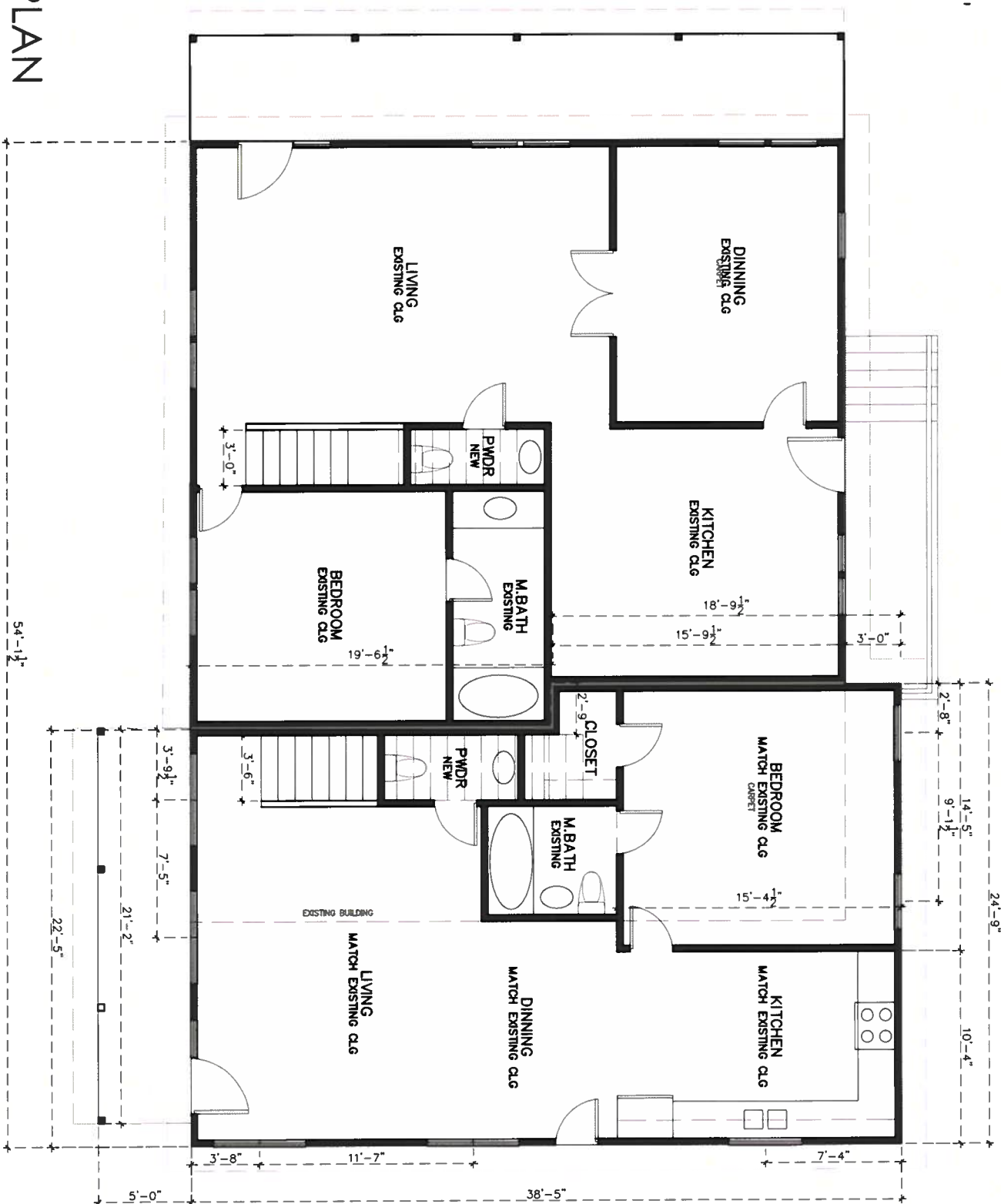
ZONNING
MF3

FLOORPLAN

SCALE:
1/8" = 1'-0"

A5 SHEET

UNIT A
1ST FLOOR PLAN
SCALE: 1/8" = 1'-00"



GENERAL PLAN NOTES:

- 1.0 ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
- 2.0 ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
- 3.0 ALL HINGED SHOWER DOORS SHALL SWING OUTWARD. GLAZING USED IN DOORS AND PANELS OF BATHTUB/SHOWER ENCLOSURES AND BUILDING WALLS ENCLOSING THESE COMPARTMENTS SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS.
- 4.0 WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- 5.0 PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
- 6.0 PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER.
- 7.0 BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
- 8.0 WEATHERSTRIP ATTIC ACCESS DOOR(S).
- 9.0 CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
- 10.0 PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILLATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.
- 11.0 ALL DOORS ON 1ST FLOOR TO BE 80" HT AND ON THE 2ND FLOOR TO BE 6'8" HT UNLESS NOTED OTHERWISE. AND WINDOWS HEAD OPENINGS TO BE AT 80" HT OR AS NOTED.
- 12.0 ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
- 13.0 PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- 14.0 PROVIDE WEATHERSEAL AND A 9 1/2" MAX. ONRY DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
- 15.0 UNLESS NOTED OTHERWISE STANDARD PANTRY SHELVING TO BE AS FOLLOWS:
LOWEST 2 SHELVES TO BE 16" D. WITH HEIGHT SPACING OF 10" CLEAR.
REMAINING SHELVES TO BE 12" D. WITH HEIGHT SPACING OF 12" CLEAR.
- 16.0 ALL WALLS OVER 10'-0"-0" IN HEIGHT TO BE FRAMED WITH 2X6 STUDS. IF WALLS OVER 10'-0"-0" IN HEIGHT ARE NOT BUILT WITH 2X6 STUDS THEY MUST BE BUILT WITH DOUBLE 2X4 STUDS AT 12" O.C.
- 17.0 THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- 18.0 THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
- 19.0 PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
- 20.0 PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE TO CODE.
- 21.0 BUILDER TO VERIFY SIZING AND LOCATIONS OF ALL APPLIANCES TO INSURE PROPER SIZING OF APPLIANCE BLACKOUTS AND RELATED COMPONENTS.



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1/2

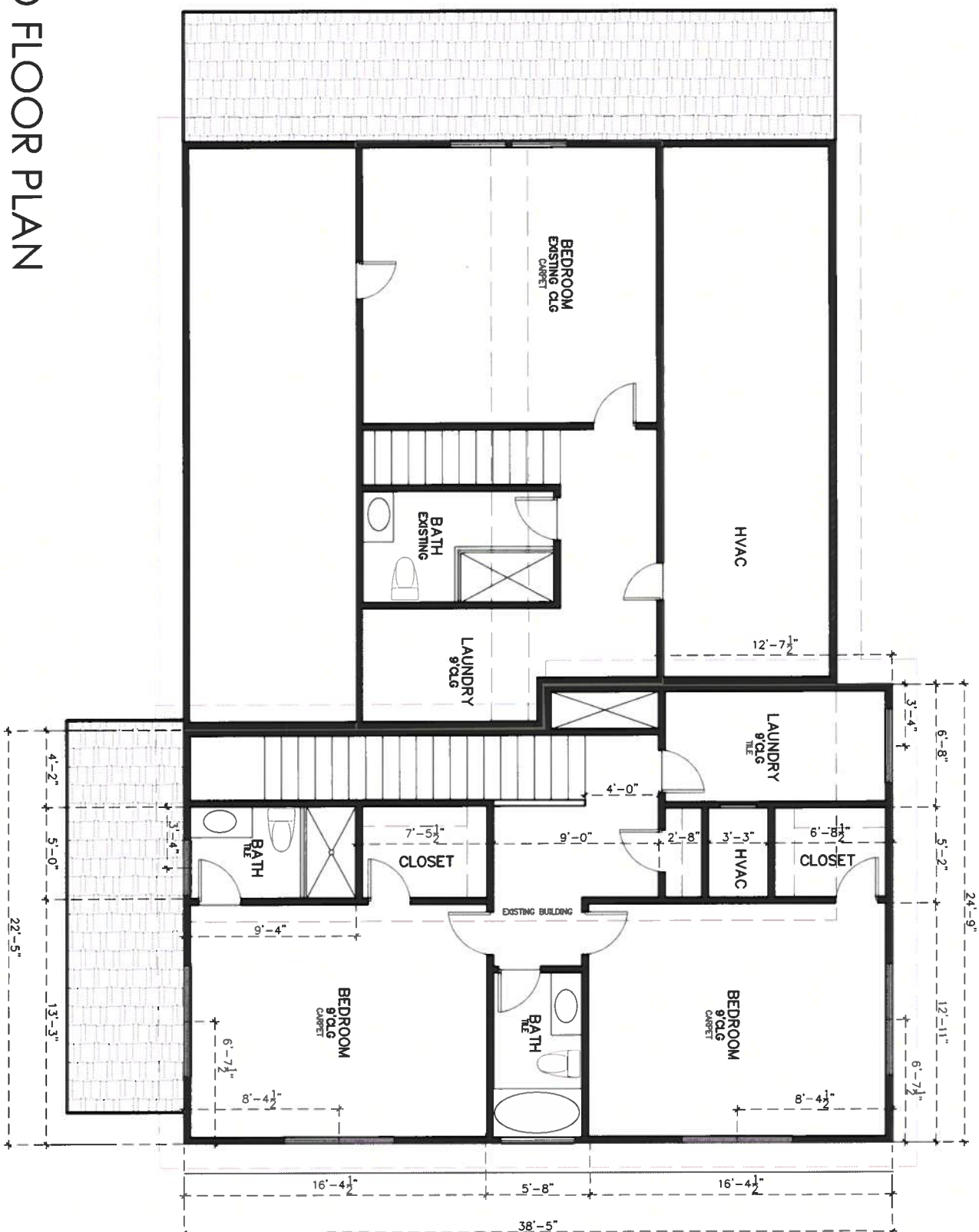
1014 E 8th STREET
AUSTIN, TX 78702
DUPLEX
REMODEL WITH ADDITION

ZONNING
MFG3

FLOORPLAN

SCALE:
1/8" = 1'-0"

A6 SHEET



UNIT A

2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"

UNIT B

GENERAL PLAN NOTES:

- 1.0 ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
- 2.0 ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
- 3.0 ALL HINGED SHOWER DOORS SHALL SWING OUTWARD. GLAZING USED IN DOORS AND PANELS OF BATHTUB/SHOWER ENCLOSURES AND BUILDING WALLS ENCLOSING THESE COMPARTMENTS SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS.
- 4.0 WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- 5.0 PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
- 6.0 PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER.
- 7.0 BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
- 8.0 WEATHERSTRIP ATTIC ACCESS DOOR(S).
- 9.0 CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.

10.0 PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.

11.0 ALL DOORS ON 1ST FLOOR TO BE 80" HT AND ON THE 2ND FLOOR TO BE 68" HT UNLESS NOTED OTHERWISE. AND WINDOWS HEAD OPENINGS TO BE AT 80" HT OR AS NOTED.

12.0 ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.

13.0 PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.

14.0 PROVIDE WEATHERSEAL AND A 9 1/2" Masonry Door Sill AT ALL EXTERIOR DOOR THRESHOLDS.

15.0 UNLESS NOTED OTHERWISE STANDARD PANTRY SHELVING TO BE AS FOLLOWS:

LOWEST 2 SHELVES TO BE 16" D. WITH HEIGHT SPACING OF 10" CLEAR.
REMAINING SHELVES TO BE 12" D. WITH HEIGHT SPACING OF 12" CLEAR.

16.0 ALL WALLS OVER 10'-0"-0" IN HEIGHT TO BE FRAMED WITH 2X6 STUDS. IF WALLS OVER 10'-0"-0" IN HEIGHT ARE NOT BUILT WITH 2X6 STUDS THEY MUST BE BUILT WITH DOUBLE 2X4 STUDS AT 12" O.C.

17.0 THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.

18.0 THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.

19.0 PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.

20.0 PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE TO CODE.

21.0 BUILDER TO VERIFY SIZING AND LOCATIONS OF ALL APPLIANCES TO INSURE PROPER SIZING OF APPLIANCE BLACKBOXS AND RELATED COMPONENTS.

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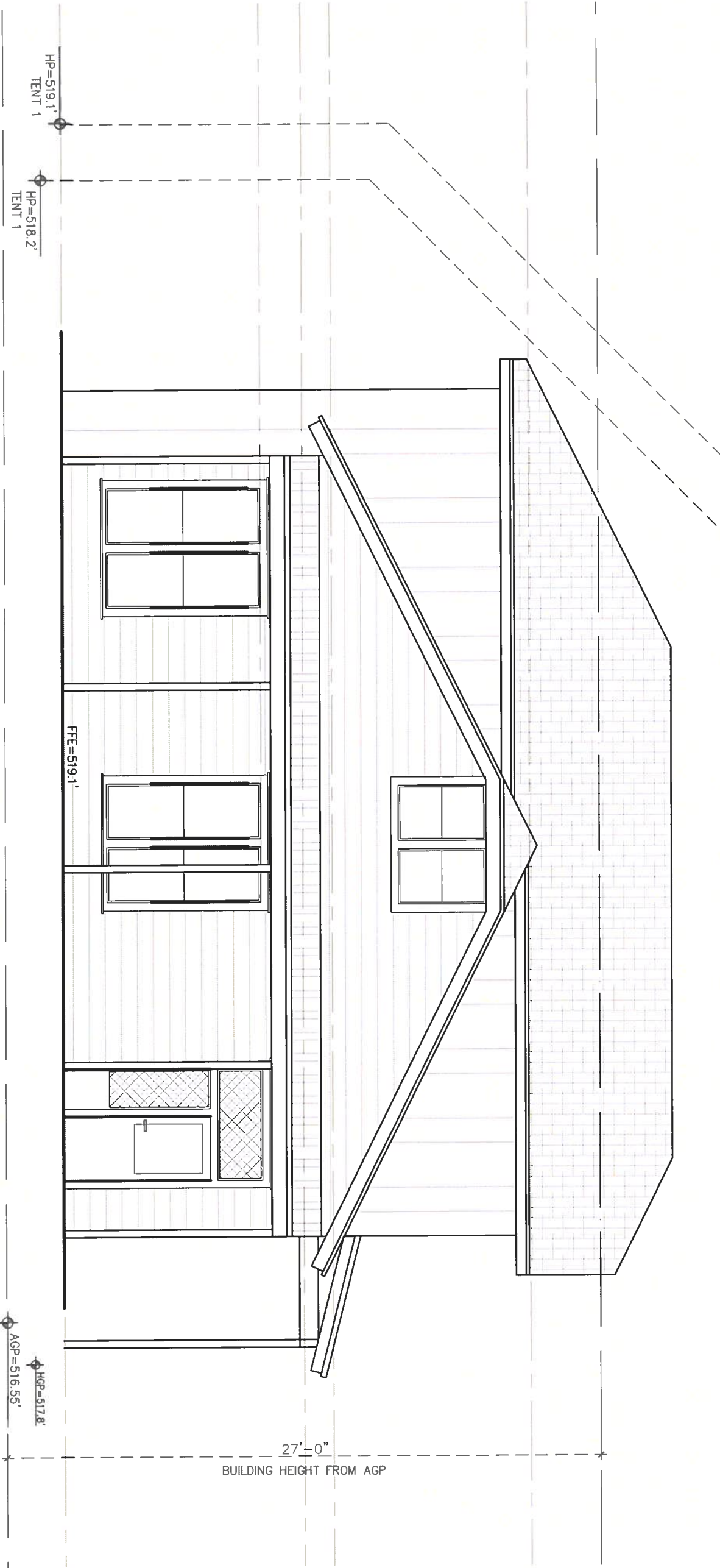
1014 E 8th STREET
AUSTIN, TX 78702
DUPLEX
REMODEL WITH ADDITION

ZONNING
MF3

ELEVATION

SCALE:
3/16" = 1'-0"

A7 SHEET



SOUTHWEST ELEVATION
SCALE: 3/16" = 1'-00"



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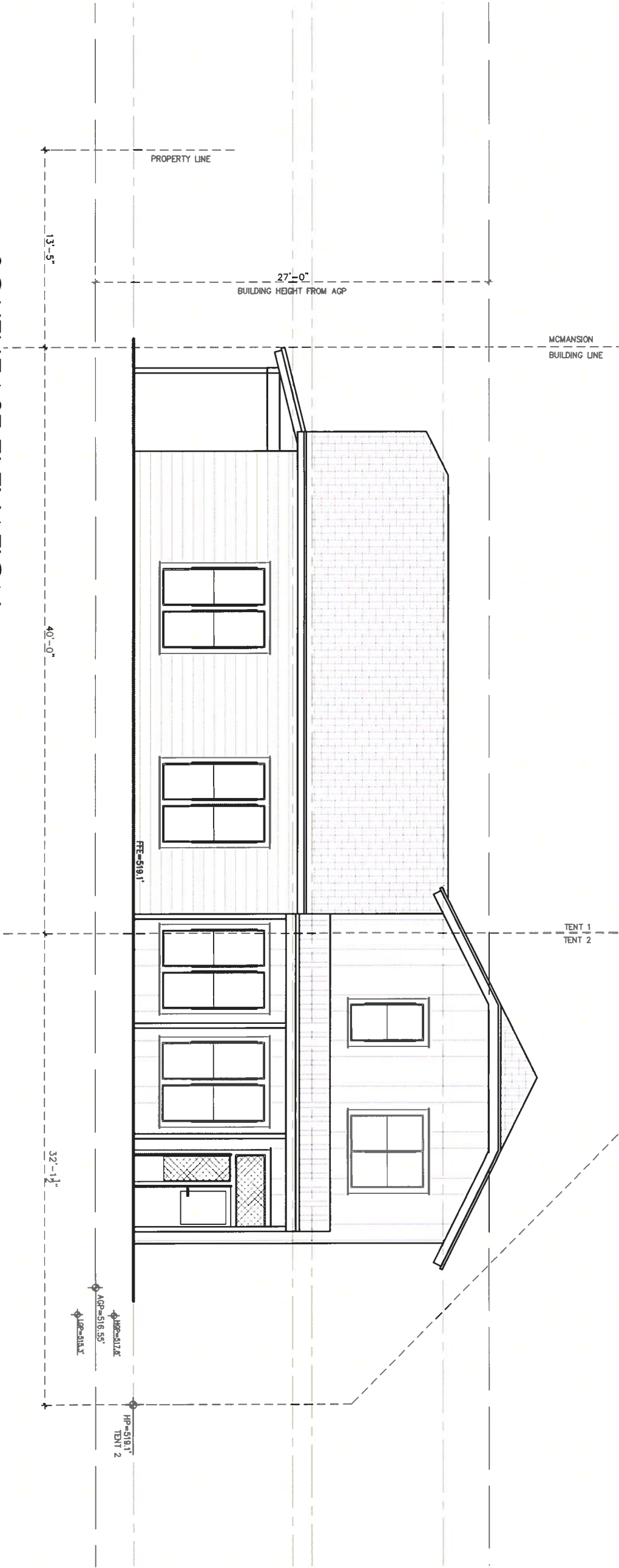
1014 E 8th STREET
AUSTIN, TX 78702
DUPLEX
REMODEL WITH ADDITION

ZONNING
MF3

ELEVATION

SCALE:
1/8" = 1'-0"

A8 SHEET



SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-00"



1	
2	

1014 E 8th STREET
AUSTIN, TX 78702

DUPLEX
REMODEL WITH ADDITION

ZONNING

MF3

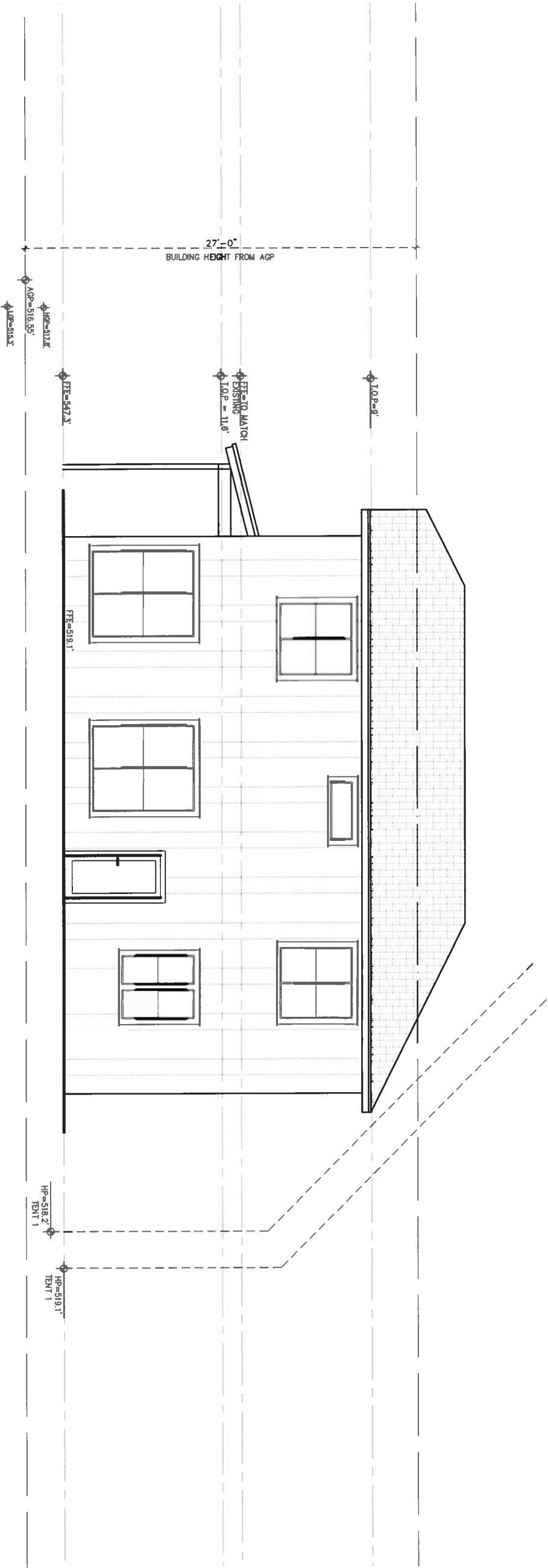
ELEVATION

SCALE:

1/8" = 1'-0"

A9

SHEET



NORTHEAST ELEVATION

SCALE: 1/8" = 1'-00"



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2	

1014 E 8th STREET
AUSTIN, TX 78702

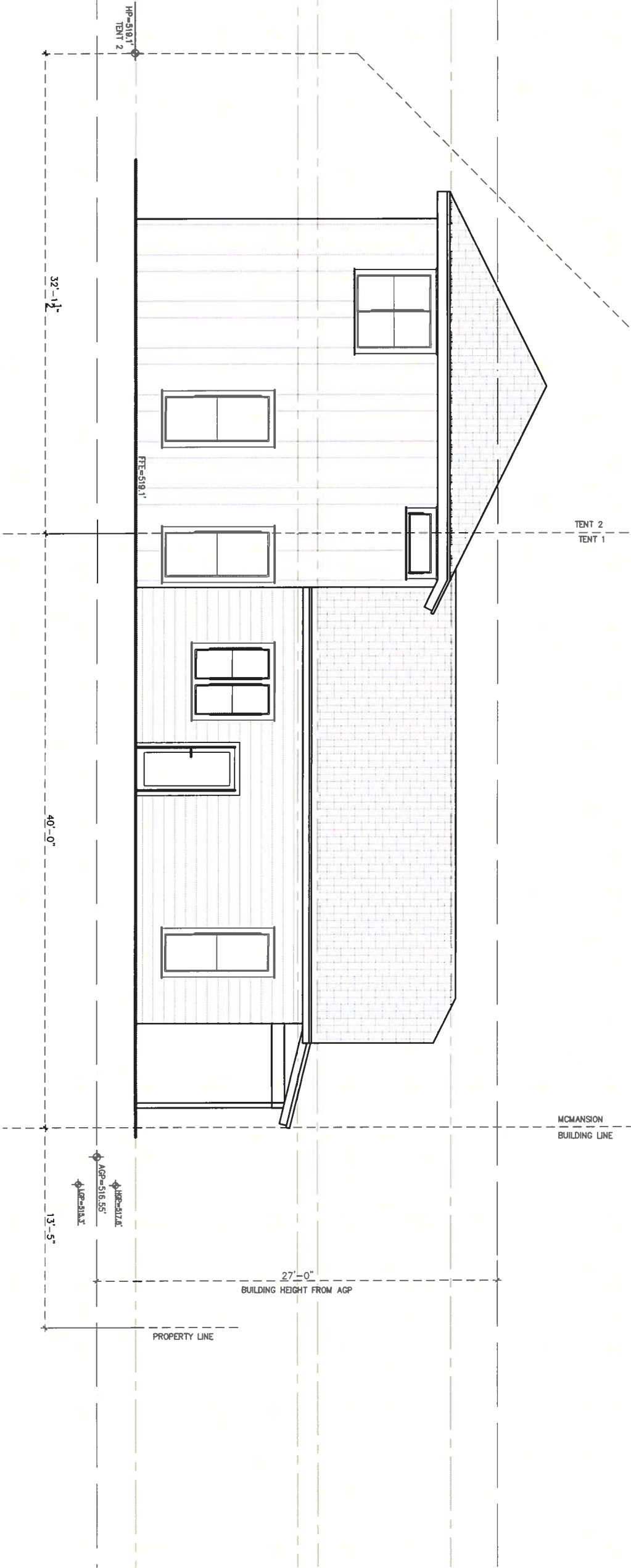
DUPLEX
REMODEL WITH ADDITION

ZONNING
MF3

ELEVATION

SCALE:
1/8" = 1'-0"

A10
SHEET



NORTHWEST ELEVATION
SCALE: 1/8" = 1'-00"



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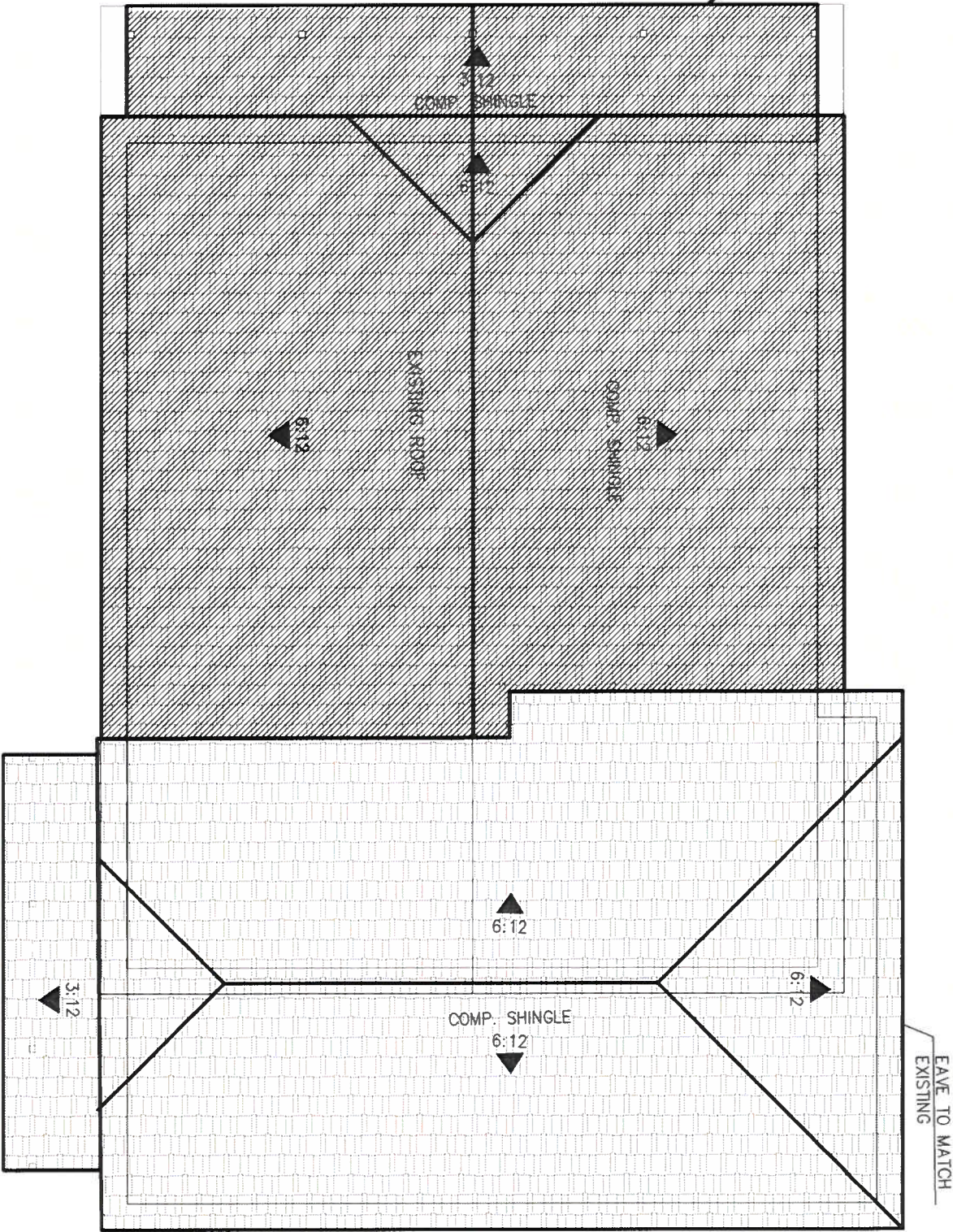
1014 E 8th STREET
AUSTIN, TX 78702
DUPLEX
REMODEL WITH ADDITION

ZONNING
MF3

ROOF PLAN

SCALE:
1/8" = 1'-0"

A11 SHEET

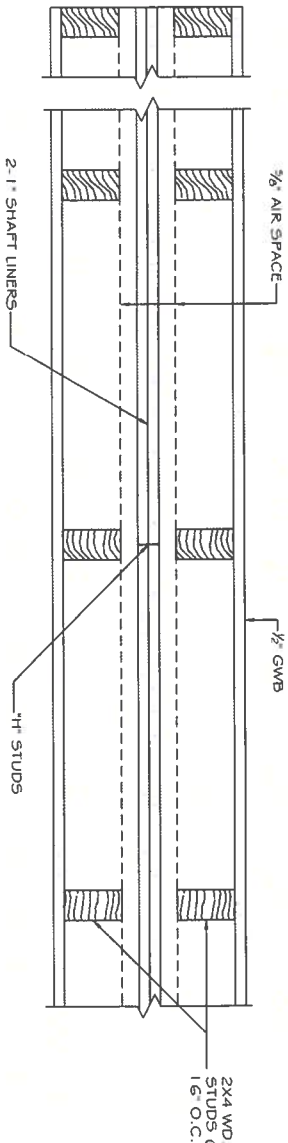


ROOF PLAN

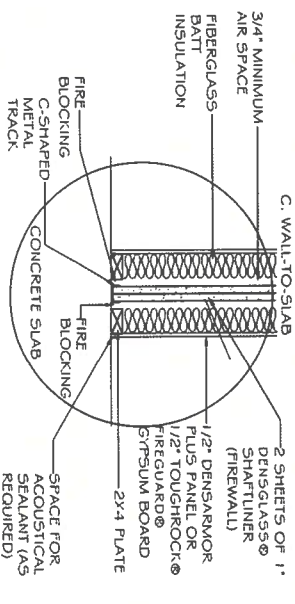
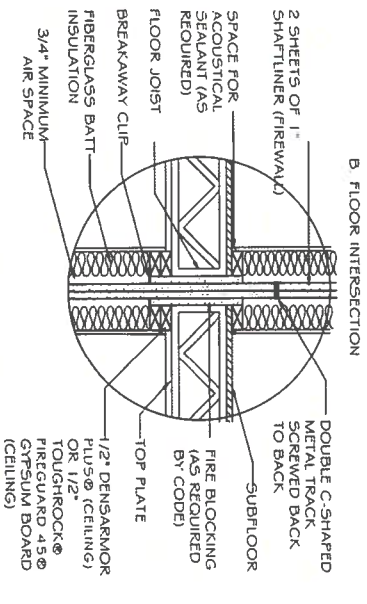
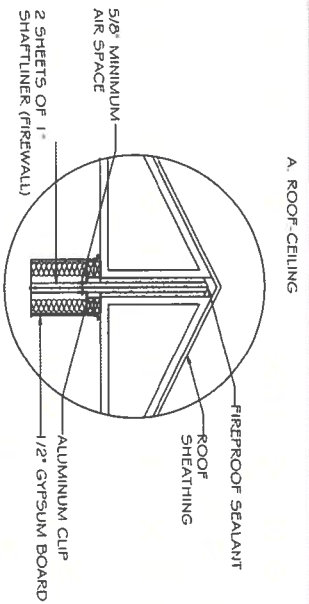
SCALE : 1/8" = 1'-0"



DESIGN NO. U336



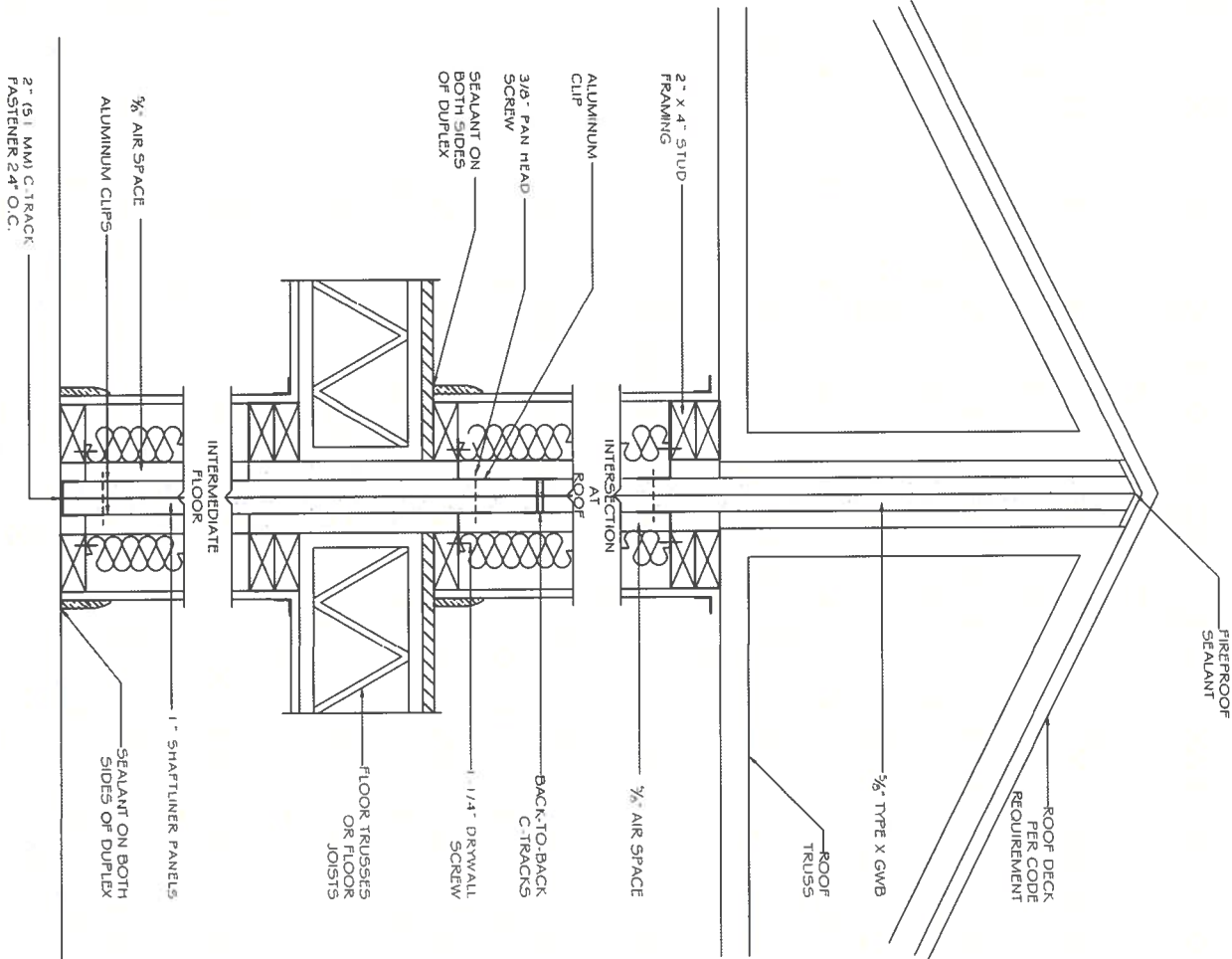
PLAN VIEW



DETAILS

- SEPARATION WALL: (Max Height - 66 ft)**
- Floor, Intermediate or Top Wall** -- 2 in. wide channel shaped with 1 in. long legs formed from No. 25 MSG galv steel, secured with suitable fasteners spaced 24 in. O.C.
 - Metal Studs** -- Steel members formed from No. 25 MSG galv steel having "H" shaped flanged spaced 24 in. O.C; overall depth 2 in. and flange width 1-3/8 in.
 - Gypsum Board*** -- Two layers of 1/2 in. thick gypsum board liner panels, supplied in nom 24 in. widths. Vertical edges of panels friction fitted into "H" shaped studs.
 - Wood Studs** -- Nom 2 by 4 in., max spacing 24 in. O.C. Studs cross braced at mid-height where necessary for clip attachment. Min 3/4 in. separation between wood framing and fire separation wall.
 - Steel Studs** -- (As an alternate to Item 4, Not Shown) -- For Bearing Wall Rating - Corrosion protected steel studs, min No. 20 MSG (0.0329 in., min bare metal thickness) steel or min 3-1/2 in. wide, min No. 20 MSG (0.036 in. thick) galv steel or No. 20 MSG (0.032 in. thick) cold formed, steel or the equivalent in strength and stiffness as determined by the American Iron and Steel Institute. All design details enhancing the structural integrity of the wall assembly, including the axial design load of the studs, shall be as specified by the steel stud designer and/or producer, and shall meet the requirements of all applicable local code agencies. The max stud spacing of wall assemblies shall not exceed 24 in. O.C. Studs attached to floor and ceiling tracks with 1/2 in. long Type S-12 steel screws on both sides of studs or by welded or bolted connections designed in accordance with the AISI specifications. Top and bottom tracks shall consist of steel members, min No. 20 MSG (0.0329 in., min bare metal thickness) steel or min No. 20 MSG (0.036 in. thick) galv steel or No. 20 MSG (0.033 in. thick) primed steel, that provide a sound structural connection between steel studs, and to adjacent assemblies such as a floor, ceiling, and/or other walls. Attached to floor and ceiling assemblies with steel fasteners spaced not greater than 24 in. O.C. Studs cross-braced with stud framing at midheight where necessary for clip attachment. Min 3/4 in. separation between steel framing and area separation wall. Finish rating has not been evaluated for Steel Studs.
 - Steel Studs** -- As an alternate to Items 4 and 4A, for use in Configuration B only, Not Shown) -- For Nonbearing Wall Rating - Channel shaped, fabricated from min 25 MSG corrosion-protected steel, min 3-1/2 in. wide, min 1-1/4 in. flanges and 1/4 in. return, spaced a max of 24 in. O.C. Studs to be cut 3/8 to 3/4 in. less than assembly height. Top and bottom tracks shall be channel shaped, fabricated from min 25 MSG corrosion-protected steel, min width to accommodate stud size, with min 1 in. long legs, attached to floor and ceiling with fasteners 24 in. O.C. max. Studs cross-braced with stud framing at midheight where necessary for clip attachment. Min 3/4 in. separation between steel framing and area separation wall. Finish rating has not been evaluated for Steel Studs.
 - Gypsum Board** -- Classified or Unclassified -- Min 1/2 in. thick, 4 ft wide, applied either horizontally or vertically. Gypsum board attached to studs with 1-1/4 in. long steel drywall nails spaced 8 in. O.C. Vertical joints located over studs. (Optional) Joints covered with paper tape and joint compound. Nail heads covered with joint compound.
 - Attachment Clips** -- Aluminum angle, 0.063 in. thick, 2 in. wide with 3 in. and 2-1/4 in. legs. Clips secured with Type S screws 3/8 in. long to "H" studs and with Type W screws 1-1/4 in. long to wood framing through holes provided in clip.
 - Clip placement (Item 6)** for separation walls up to 23 ft high. Space clips a max of 10 ft O.C vertically between wood framing and "H" studs.
 - Clip placement (Item 6)** for separation walls up to 44 ft high. Space clips as described in Item 6A for upper 24 ft. Remaining wall area below requires clips spaced a max 5 ft O.C vertically between wood framing and "H" studs.
 - Clip placement (Item 6)** for separation walls up to 66 ft high: Space clips as described in Item 6A for upper 24 ft. Space clips as described in Item 6B for next 20 ft, below the upper 24 ft. Remaining wall area below requires clips spaced a max of 40 in. O.C vertically between wood framing and "H" studs.
- Non-Bearing Wall Partition Intersection** -- (Optional) -- Two nominal 2 by 4 in. stud or nominal 2 by 6 in. stud nailed together with two 3in. long 10d nails spaced a max. 16 in. O.C. vertically and fastened to one side of the minimum 2 by 4 in. stud with 3 in. long 10d nails spaced a max 16 in. O.C. vertically. Intersection between partition wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed with a second 2 by 4 in. wood stud fastened with 3 in. long 10d nails spaced a max. 16 in. O.C. vertically. Maximum one non-bearing wall partition intersection per stud cavity. Non-bearing wall partition stud depth shall be at a minimum equal to the depth of the wall.
- Caulking and Sealants*** -- (Optional) -- A bead of sealant applied around the partition perimeter, and at the interface between wood or steel framing and gypsum board panels to create an air barrier.

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



FULL WALL DETAIL



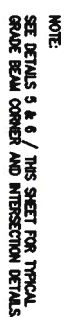


Diagram illustrating the cross-section of a roof assembly, showing the following layers and dimensions:

- SLAB & ROOF - SEE PLAN** (Indicated by a line pointing to the top edge of the assembly)
- 2'-6" MIN.** (Dimension across the top of the assembly)
- 1'-0" MIN.** (Dimension across the top of the assembly, below the 2'-6" dimension)
- 1'-2"** (Dimension across the top of the assembly, below the 1'-0" dimension)
- COMPACTED SELECT FILL** (Layer below the top slab)
- VAPOR BARRIER** (Layer below the compacted select fill)
- TOP OF NATURAL SUBGRADE** (Layer below the vapor barrier)

NOTE:
SEE 1/4" SHT. FOR DETAILS NOT NOTED.

NOTE:
SEE 1/THIS SHIT. FOR
ITEMS NOT NOTED.



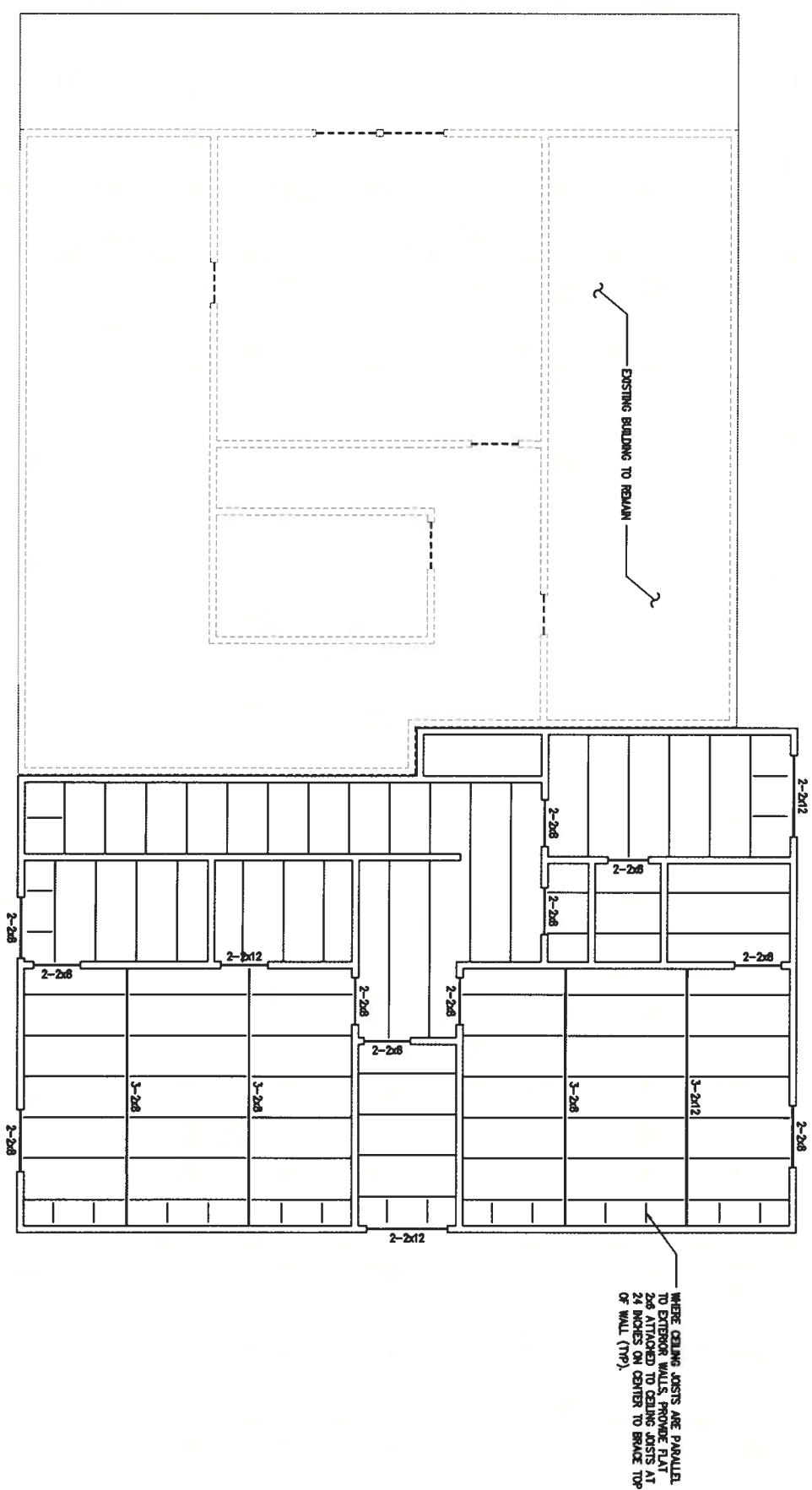
1014 E. 8th STREET
AUSTIN, TEXAS 78702

REMODEL WITH ADDITION

FOUNDATION PLAN & DETAILS

50

PROJECT NO.:	02986
DRAWN BY:	METROTECH
SCALE:	1/8" = 1'-0"
DATE:	1/29/2018
SHEET NO.	



NOTES:

1. ALL CEILING JOISTS SHALL CONSIST OF 2x6 NO. 2 SOUTHERN YELLOW PINE AT 24" O.C. UNLESS NOTED OTHERWISE.
2. PROVIDE TRIPLE STUD COLUMNS BELOW ALL ROOF STRUTS. PROVIDE TRIPLE STUD COLUMNS BELOW ALL 2x BUILT UP BEAMS. PROVIDE 4-PLY STUD COLUMNS BELOW ALL 1x6 BEAMS.

LEGEND

----- 2x STUDS AT 16" O.C.

_____ 2x OR 1x BEAMS

_____ CEILING JOIST

1 UPPER LEVEL FRAMING PLAN

CAUTION:

CONTRACTOR SHALL VERIFY LOCATIONS OF MECHANICAL EQUIPMENTS IN THE ATTIC AND PROVIDE #2 2x6 CEILING JOISTS SPACED AT 12" O. C. MAX. TO SUPPORT THE WEIGHT OF THE MECHANICAL EQUIPMENTS.

1014 E. 8th STREET
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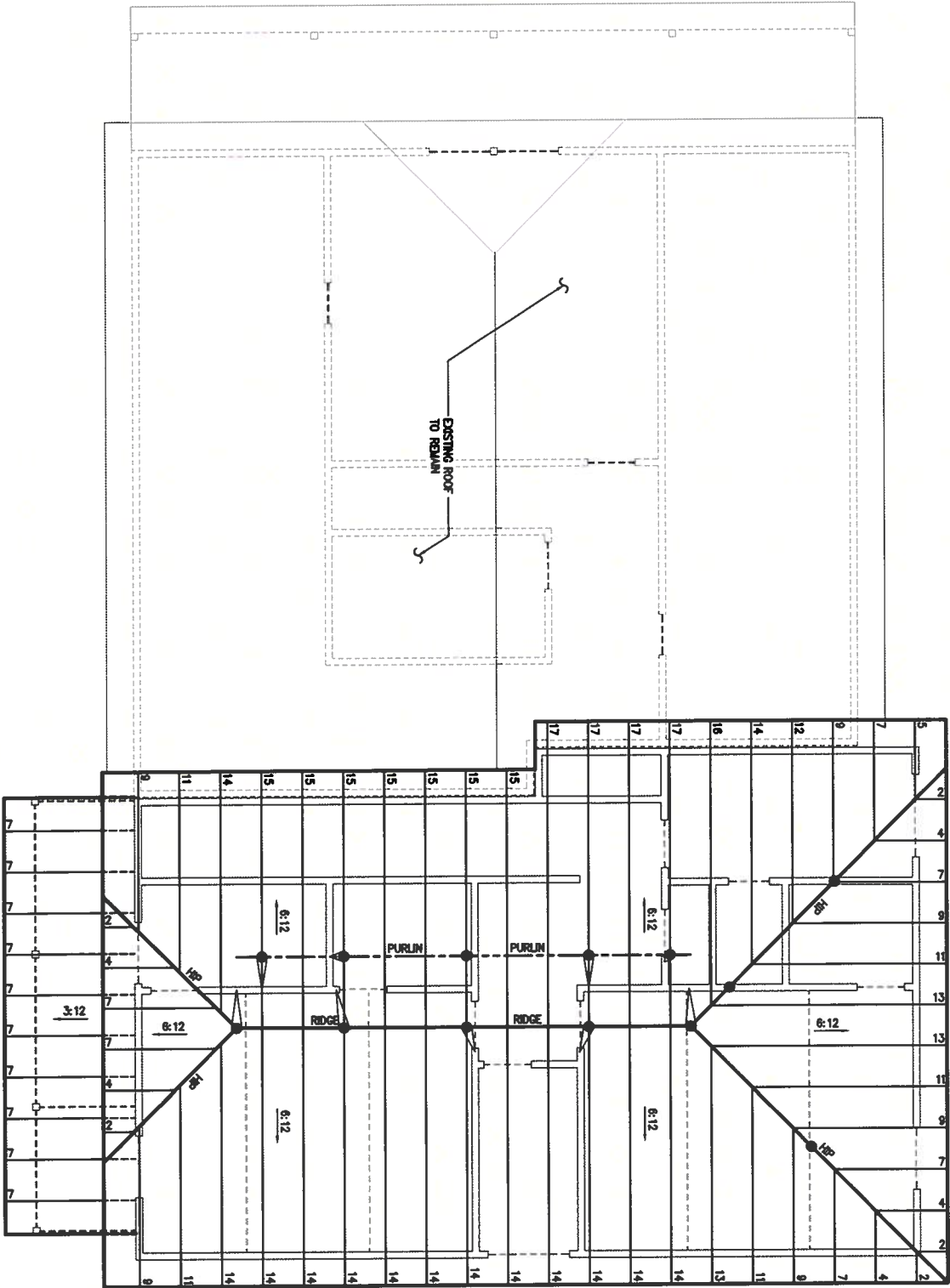
REMODEL WITH ADDITION

UPPER LEVEL FRAMING PLAN

METROTECH
P.O. BOX 180988
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FAX (512) 322-0715

54

PROJECT NO.:	02966
DRAWN BY:	METROTECH
SCALE:	1/8" = 1'-0"
DATE:	1/29/2018
SHEET NO.	



LEGEND

ROOF STRUT - SEE 2/5-1

NOTES:

1. ALL ROOF RIDGES, HIPs, VALLEYS AND FLASHINGS SHALL CONSIST OF 2x12 NO. 2 SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.
2. ALL ROOF PARTSERS SHALL CONSIST OF 2x6 NO. 2 SOUTHERN YELLOW PINE AT 24" O.C. UNLESS NOTED OTHERWISE.
3. ALL ROOF PURLINS SHALL CONSIST OF 2x6 NO. 2 SOUTHERN YELLOW PINE UNLESS NOTED OTHERWISE.

1 ROOF FRAMING PLAN

CAUTION!

CONTRACTOR SHALL VERIFY LOCATIONS OF MECHANICAL EQUIPMENTS IN THE ATTIC AND PROVIDE #2 2x6 CEILING JOISTS SPACED AT 12" O.C. MAX. TO SUPPORT THE WEIGHT OF THE MECHANICAL EQUIPMENTS.

1014 E. 8th STREET
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REMODEL WITH ADDITION

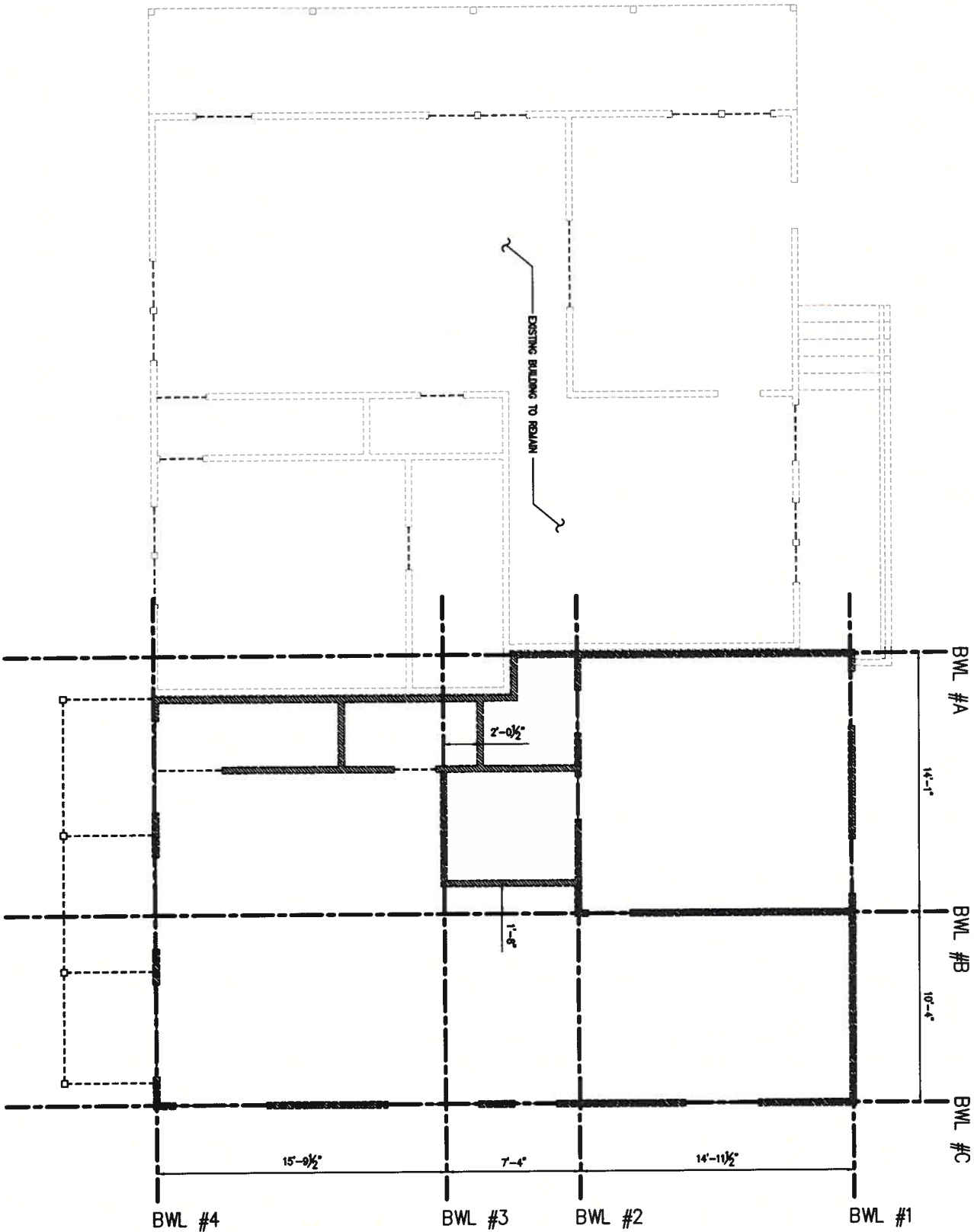


METROTECH
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TEL. (512) 699-7964
FAX (512) 322-0715

ROOF FRAMING PLAN

S-5

PROJECT NO.: 0986
DRAWN BY: METROTECH
SCALE: 1/8" = 1'-0"
DATE: 1/29/2018
SHEET NO.



1 LOWER LEVEL BRACED WALL PLAN

LEGEND

BRACED WALL

BRACED WALL NOTE:

ALL INTERIOR AND EXTERIOR WOOD FRAMING WALLS (SHOWN AS HATCHED WALLS) ARE DESIGNED AS BRACED WALLS TO RESIST THE LATERAL FORCES. SHEATHING ON THE EXTERIOR FACE OF THE EXTERIOR WALLS SHALL CONSIST OF 1/2" MIN. OSB BOARDS. SHEATHING ON THE INTERIOR FACE OF THE EXTERIOR WALLS AND BOTH FACES OF INTERIOR WALLS SHALL CONSIST OF 1/2" MIN. GYPSUM BOARD. WALL STUDS SHALL CONSIST OF 2x4 NO. 2 SOUTHERN YELLOW PINE STUDS SPACED AT 16" O.C. MAX. ALL SHEATHING SHALL BE FASTENED TO WALL FRAMING STUDS WITH 6d COMMON NAILS WITH MAXIMUM FIELD SPACING OF 12" AND MAXIMUM EDGE SPACING OF 6". WALLS SHALL HAVE A MINIMUM PENETRATION OF 1.5" INTO WALL STUDS.

BRACED WALL METHOD, IN ACCORDANCE WITH IRC TABLE R602.10.4.1. CONTINUOUS SHEATHING METHOD CS-WSP

1014 E. 8th STREET
AUSTIN, TEXAS 78702
REMODEL WITH ADDITION

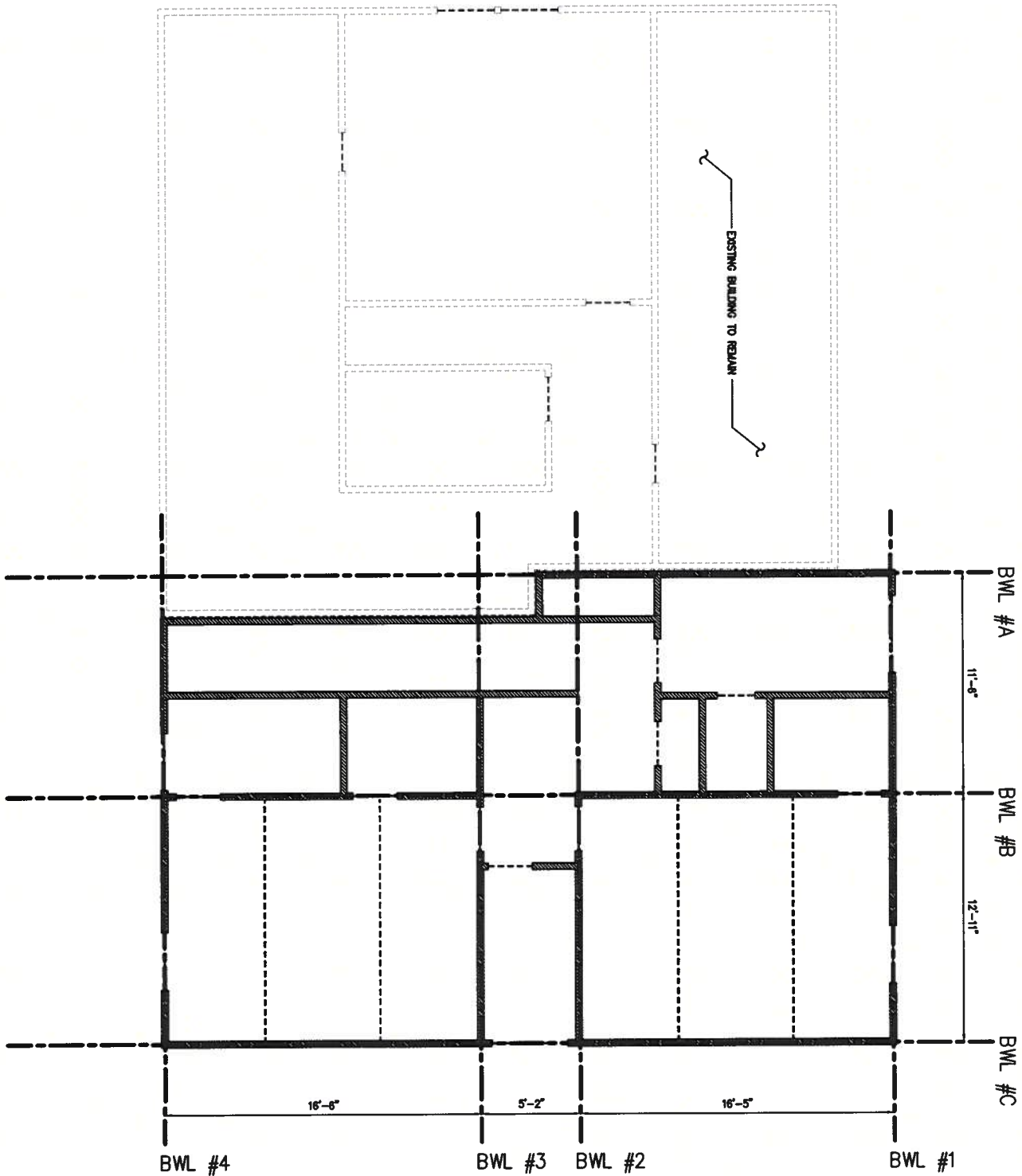


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LOWER LEVEL
BRACED WALL PLAN

PROJECT NO.: 0296
DRAWN BY: METROTECH
SCALE: 1/8" = 1'-0"
DATE: 1/29/2016
SHEET NO.

S-6



1 UPPER LEVEL BRACED WALL PLAN

LEGEND

BRACED WALL

BRACED WALL NOTE:

ALL INTERIOR AND EXTERIOR WOOD FRAMING WALLS (SHOWN AS HATCHED WALLS) ARE ASSIGNED AS BRACED WALLS TO RESIST THE LATERAL FORCES RESULTING FROM THE EXTERIOR FACE OF THE EXTERIOR WALLS SHALL CROSS OR 1" MIN OSB BOARDS SETTING ON THE INTERIOR FACE OF THE EXTERIOR WALLS AND BOTH FACES OF INTERIOR WALLS SHALL CONSIST OF 1/2" MIN OSB BOARDS. WALL STUDS SHALL CONSIST OF 2x4 NO. 2 SOUTHERN YELLOW PINE STUDS SPACED AT 16" O.C. MAX. ALL SEALING SHALL BE FASTENED TO WALL FRAMING STUDS WITH 6d COMMON WALLS WITH MAXIMUM FIELD SPACING OF 12" AND MAXIMUM EDGE SPACING OF 6". WALLS SHALL HAVE A MINIMUM PENETRATION OF 1.5" INTO WALL STUDS.

BRACED WALL METHOD (IN ACCORDANCE WITH IRC TABLE R602.10.6.1).

CONTINUOUS SEALING METHOD CS-WSP

1014 E. 8th STREET
AUSTIN, TEXAS 78702

REMODEL WITH ADDITION



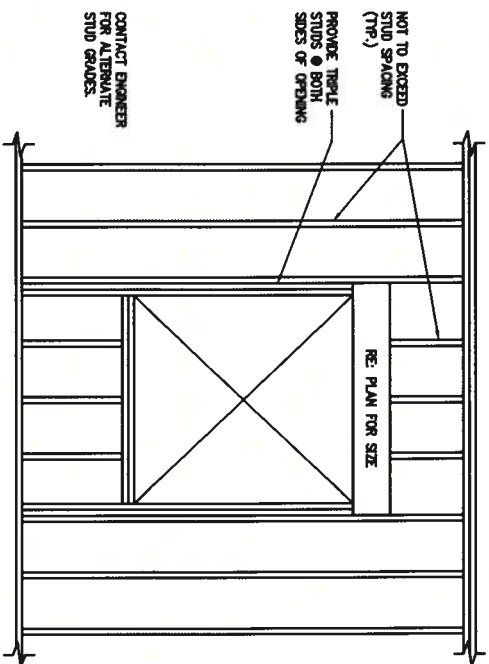
METROTECH

P.O. BOX 180888
AUSTIN, TEXAS 78718
TEL. (512) 699-7984
FAX (512) 322-0715

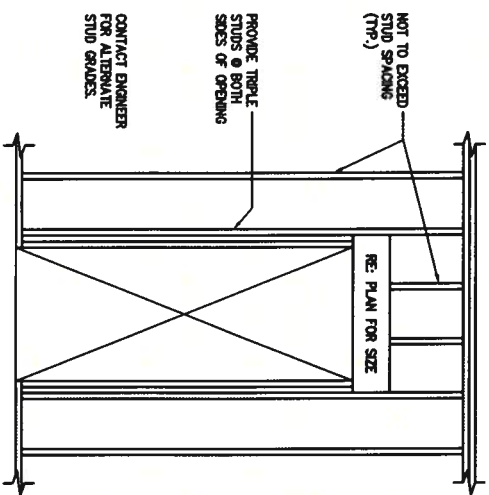
UPPER LEVEL
BRACED WALL PLAN

PROJECT NO.: 0898
DRAWN BY: METROTECH
SCALE: 1/8" = 1'-0"
DATE: 1/29/2018
SHEET NO.

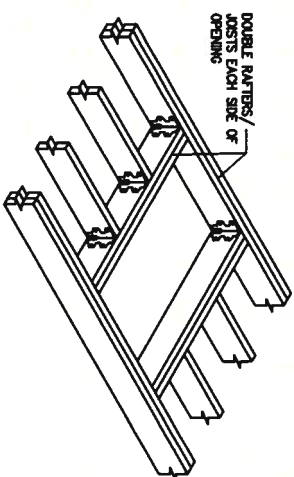
S-7



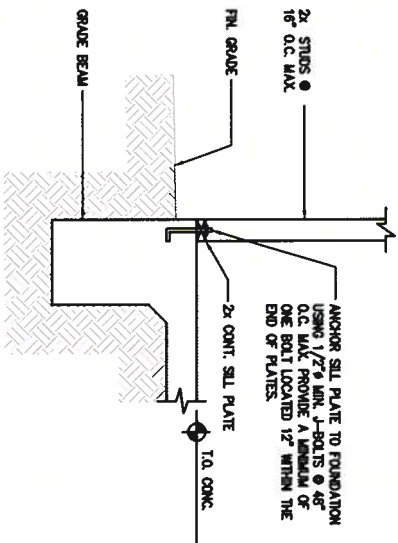
1
N.T.S.
TYPICAL WINDOW OPENING



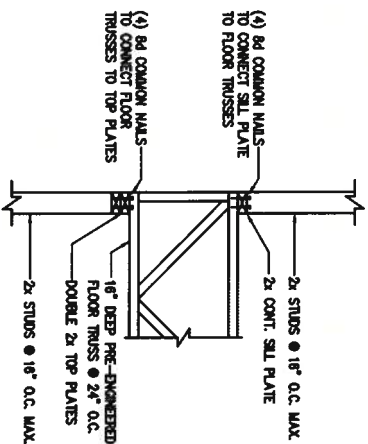
2
N.T.S.
TYPICAL DOOR OPENING



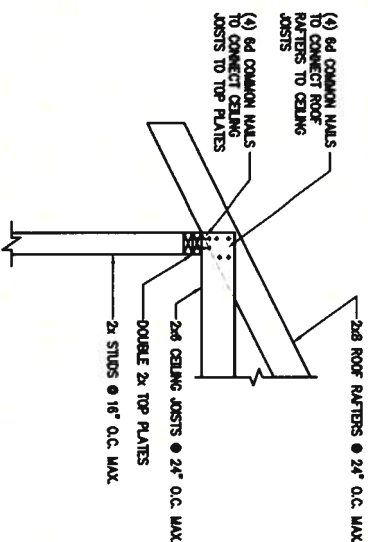
3
N.T.S.
TYPICAL ROOF & CEILING OPENING



4
N.T.S.
**SLAB TO WALL CONNECTION
TYPICAL DETAIL**



5
N.T.S.
**FLOOR TRUSS TO WALL CONNECTION
TYPICAL DETAIL**



6
N.T.S.
**ROOF RAFTER TO WALL CONNECTION
TYPICAL DETAIL**